
EXHIBIT A - Trade Subcontractor Bid Package Manual and Forms – Contract #301001401

B... Trade Package # TG14.1 Elevators
and Escalators Package
Addendum #2

March 18, 2014 ...B



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I. BIDDER QUALIFICATION PROCESS

If the Bidder is not previously qualified, the Bidder shall submit a Request for Qualification (RFQ) package no later than the date shown in the TG14.1 Package Timeline in Section II, “Key Dates for Bidding Process.” The prequalified trade subcontractors/joint ventures listed below do not need to submit a RFQ package at this time.

Prequalified Trade Subcontractors/Joint Ventures:

- KONE Inc.
- Otis Elevator Company
- Schindler Elevator Corporation
- ThyssenKrupp Elevator Corporation

Notification of the qualification will be provided to the Bidder by the date shown in the TG14.1 Package Timeline. Bids submitted by non-qualified Bidders will not be accepted or opened. Non-qualified Bidders assume all risk and costs associated with submitting a bid if they are deemed not qualified.

Trade Subcontractors submitting an RFQ package during the bid period must use the “Request for Qualifications TG14.1” form available on the TJPA website (<http://transbaycenter.org/tjpa/doing-business-with-the-tjpa/current-contract-opportunities/elevators-and-escalators>). Trade Subcontractors pursuing qualification shall also familiarize themselves with the RFQ Questions & Answers posted to the same website.

No Conflict of Interest: Webcor/Obayashi Joint Venture and the TJPA shall disqualify any Bidder that has a conflict of interest under Section C8.105 of the San Francisco Charter, Government Code Section 1090 *et. seq.*, the Political Reform Act (Government Code Section 87100 *et. seq.*), or any other applicable conflict of interest laws. Any false, incomplete, or otherwise unresponsive statements made in connection with a proposal may be cause for its disqualification at Webcor/Obayashi Joint Venture and the TJPA’s sole discretion.

END OF BIDDER QUALIFICATION PROCESS

II. KEY DATES FOR BIDDING PROCESS

Each Bidder shall submit its “Bid Form,” “Schedule of Bid Prices,” and other applicable sections and forms in the Specifications and the Project Bidding Manual. Required submittal documents for the bid are listed in the Bidding Checklist (BCL) in the Project Bidding Manual.

Package Issuance: The Bid Package, except the drawings and specifications, will be available for download from the TJPA website <http://transbaycenter.org/tjpa/doing-business-with-the-tjpa> or by contacting Webcor/Obayashi Joint Venture by e-mail at TransbayBidding_TG14.1@webcor-obayashi.com. Information regarding how to obtain the drawings and specifications will be posted on the TJPA website with the IFB package on the Bid Package Issuance date.

Pre-Bid Conference: A pre-bid meeting and job walk for Trade Subcontractors interested in submitting bids will be held at the time and date shown in the TG14.1 Package Timeline below, in the Conference Room Charlie at the Webcor/Obayashi Joint Venture Office at 175 Beale Street, San Francisco, California 94105. Attendance is optional, but highly encouraged.

Questions/Clarifications: Questions or requests for clarifications regarding the Bid Package must be submitted in writing to Webcor/Obayashi Joint Venture no later than the time on the date shown in the TG14.1 Package Timeline below. Questions on Bid Documents (QBD) form in the Project Bidding Manual shall be used for questions or requests for clarifications. Refer to “Communication with Webcor/Obayashi Joint Venture” for contact information.

Value Engineering (VE) Proposals: Each Bidder may submit Value Engineering (VE) Proposals as deductive alternates to their Bid to the TJPA offices at 201 Mission Street, Suite 2100, San Francisco, CA, 94105 by the time and date shown in the TG14.1 Package Timeline below. The VE Proposals shall consist of two parts, technical and cost, and must be submitted in a sealed envelope. No proposals will be accepted after the due date and time. Refer to Specification Section 00 04 20 for details. The VE Proposal submissions must be signed under penalty of perjury in the manner designated at the end of the form, by an individual who has the legal authority to bind the Bidder on whose behalf that person is signing. If any information provided by a Bidder becomes inaccurate, Bidder must immediately notify Webcor/Obayashi Joint Venture and provide updated accurate information in writing, under penalty of perjury.

Bid Submittal: Each Bidder shall submit sealed bids to the TJPA offices at 201 Mission Street, Suite 2100, San Francisco, CA, 94105 by the time and date shown in the TG14.1 Package Timeline below. No bids will be accepted after the due date and time. Bid submissions must be signed under penalty of perjury in the manner designated at the end of the form, by an individual who has the legal authority to bind Bidder on whose behalf that person is signing. If any information provided by a Bidder becomes inaccurate, Bidder must immediately notify Webcor/Obayashi Joint Venture and provide updated accurate information in writing, under penalty of perjury.

Sensitive Security Information/Protected Critical Infrastructure Information

Contract Documents and reference documents for the Transbay Transit Center Project may contain protected information pertaining to sensitive, financial, commercial, or proprietary business information and/or the security of the Project. Such protected information is classified as Confidential Information, Sensitive Security Information (SSI), or Protected Critical Infrastructure Information (PCII). Bidders and Trade Subcontractors shall follow the procedures for the safeguarding of protected information specified in Specification Section 01 35 70, Document Control Procedure for Protected Information.

Financial Responsibility: Webcor/Obayashi Joint Venture and the TJPA accept no financial responsibility for any costs incurred by a firm in responding to this Bid Package. Submissions to Webcor/Obayashi Joint Venture will become the property of the TJPA and may be used by the TJPA in any way deemed appropriate.

No Waiver: No waiver by Webcor/Obayashi Joint Venture and the TJPA of any provision of this Bid Package shall be implied from any failure by Webcor/Obayashi Joint Venture and the TJPA to recognize or take action on account of any failure by a Bidder to observe any provision of this Bid Package.

No Representations or Warranties: The information presented in this Bid Package and in any report or other information provided by Webcor/Obayashi Joint Venture and the TJPA to Bidders is provided solely for their convenience. It is the sole responsibility of Bidders to assure themselves that the information contained in this Bid Package and other documents are accurate and complete. No representations, assurances or warranties pertaining to the accuracy of such information are or will be provided by the TJPA or its advisors.

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Package Timeline:

Bid Package Issued:	January 30, 2014
Pre-Bid Conference:	February 12, 2014 (10:00 am)
Qualifications Due (for non-prequalified):	February 13, 2014 (2:00 pm)
Notification of Qualification (for non-prequalified):	February 20, 2014
Questions/Clarifications (QBD) Due:	May 1, 2014 March 25, 2014 (2:00 pm)
Value Engineering (VE) Proposals Due:	May 8, 2014 April 1, 2014 (2:00 pm)
VE Proposals Review:	May 8, 2014 – May 15, 2014 April 1, 2014 – April 8, 2014
Bid Packages Due:	May 15, 2014 April 8, 2014 (2:00 pm)
Public Bid Opening:	May 15, 2014 April 8, 2014 (2:00 pm)
Protest Period:	May 16, 2014 – May 22, 2014 April 9, 2014 – April 15, 2014
Notification of Intention to Award Contract:	June 2014 May 2014
TJPA Board Vote to Approve the Contract Award:	June 12, 2014 May 8, 2014

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END OF KEY DATES FOR BIDDING PROCESS

III. COMMUNICATION WITH WEBCOR/OBAYASHI JOINT VENTURE

At no time during the bid process (defined as the time between issuance of this IFB until issuance of the Notice of Intent to Award Contract) shall Bidders contact any person(s) or staff of the TJPA, TJPA Program Management/Program Controls (PMPC) team, Webcor/Obayashi Joint Venture, CM Oversight (CMO), or other TJPA Consultants regarding this IFB. The only contact is for submission of questions using the contact directions below.

Submit questions using the Question on Bid Documents (QBD) form through Webcor/Obayashi Joint Venture. See the Project Bidding Manual for QBD form.

E-mail the completed QBD form to Webcor/Obayashi Joint Venture at TransbayBidding_TG14.1@webcor-obayashi.com.

END OF COMMUNICATION WITH WEBCOR/OBAYASHI JOINT VENTURE

IV. SCOPE OF THE PACKAGE AND BID ITEM INFORMATION

TG14.1 Elevators and Escalators:

1. Package Scope Summary

The scope of work for the TG14.1 Elevators and Escalators is described in the Contract Documents. Scope of work includes all labor, materials, equipment, tools, transportation, disposal fees, incidentals and any other costs/fees necessary to complete the work in accordance with the Contract Documents. All necessary work from mobilization to handover to the next Trade Subcontractor shall be included in the Bid.

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The major items of the work for this package will consist of the following elements:

- Furnish and Install Elevators
- Commission Elevators
- **Provide Maintenance Contract for Elevators**
- Furnish and Install Escalators
- Commission Escalators
- **Provide Maintenance Contract for Escalators**

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The TG14.1 Elevators and Escalators Package (Trade Package) is comprised of two Parts: TG14.1A, and TG14.1B. Qualified Trade Subcontractors may submit bids, as specified in the Bid Form, for any Part, or for the entire Trade Package.

Elevators and Escalators Package Contract Work Areas and Scope Delineation:

<u>Trade Package Parts</u>	<u>Contract Work Areas</u>
TG14.1A	Elevators
TG14.1B	Escalators

Trade Subcontractor is required to review the Contract Documents and be familiar with existing Site Conditions in accordance with all requirements set forth in the Prime Contract with respect to its scope of work (see Specification Section 00 07 00 – General Conditions, Article 3.03). This shall include, without limitation, the obligation to carefully review the appropriate portions of the Contract Documents a minimum of 35 days in advance of the work to be executed for the express purpose of checking for any manifest errors, omissions, discrepancies or ambiguities and notifying Webcor/Obayashi Joint Venture in writing promptly within this time period upon discovery of errors, omissions, discrepancies or ambiguities so that Webcor/Obayashi Joint Venture can properly notify the TJPA within the time period prescribed in Specification Section 00 07 00 – General Conditions, Article 3.03.C.

In addition, if Trade Subcontractor performs work that it knows, or reasonably should have known, to be contrary to the Building Code or other applicable laws, statutes, ordinances, rules and regulations without written notice to Webcor/Obayashi Joint Venture, Trade Subcontractor shall assume responsibility for such work and shall bear all costs of correction (see Specification Section 00 07 00 – General Conditions, Article 3.08.E).

2. General Work

All necessary general work shall be included in this package. As needed by Trade Subcontractor, the general work shall include, but shall not be limited to, site preparation, site safety, crane/rescue baskets, temporary lighting for night work, temporary task lighting for traffic/pedestrians, painted temporary

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barricades for overhead protection including lighting and signage, weather mitigation, surveying, clean-up, dump permits and fees, and small tools and equipment specific for this work package. Refer to Section IV, "Trade Subcontractor Requirements" in Project Bidding Manual and the Contract Documents for more information.

Trade Subcontractor is responsible for protection of adjacent properties, mitigation measures and monitoring, as specified in the Contract Documents.

Trade Subcontractor's cost of the general work, overhead, office cost, applicable permits/legal fees, administration, bonds, insurances, contingency, profit and other necessary activities for this project shall be included in the bid amount and shall be distributed into the Bid Items.

The following items for this package are discussed in detail in Section IV, "Trade Subcontractor Requirements" in the Project Bidding Manual. Additional requirements and/or clarifications that are specific to the current Trade Subcontractor Bid Package are included below and align, as indicated, with the corresponding section of the Project Bidding Manual.

D. Small Business Enterprise (SBE) Program

The SBE utilization goal for this Trade Subcontractor is 5% of the total value of Trade Subcontractor's bid value.

E. Exclusions. Do not include in bid price.

1. Project ID Signs called for in Specification 01 15 01.
2. Inspector's Office called for in Specification 01 15 90, Subsection 1.3.

3. Base Bid Item Scope

Elevators and Escalators Package Scope of Work

The TG14.1 Elevators and Escalators Package (Trade Package) is comprised of two Parts: TG14.1A, and TG14.1B. Qualified Trade Subcontractors may submit bids, as specified in the Bid Form, for any Part, or for the entire Trade Package.

This section is only supplemental information to the Contract Documents used to describe how the bid pricing is to be broken down and to generally describe the scope of the work defined in the Contract Documents. All necessary work from mobilization to handover to the next Trade Subcontractor shall be included in the bid items.

The amount paid for all of the items below shall include full compensation for furnishing all labor, materials, equipment, installation, welding, tools, transportation, disposal fees, incidentals, all patch work including multiple mobilization/demobilizations as required, and any other costs/fees necessary to complete this work.

Bid Pricing shall be split into "Below Ground Level" and "Ground Level and Above" due to the difference in project funding tracking for these two sections. Trade Subcontractor shall allocate its cost to each appropriate section.

General Scope applicable to both Elevators and Escalators:

1. Laydown and Staging Areas
 - a. Due to limited space, only minimal staging/assembly areas necessary to store and install elevator/escalator equipment during work will be provided.
 - b. Maintain clean and organized staging/assembly areas at all times.
2. Delivery and Installation
 - a. This Trade Subcontractor shall provide delivery, unloading and installation of all elevator/escalator systems. No transportation equipment (e.g. forklifts, hoisting) will be provided; this Trade Subcontractor shall provide all personnel and equipment to deliver, unload and install elevator/escalator systems.
3. Shipping
 - a. This Trade Subcontractor shall provide multiple shipments as requirement to meet project schedule.
4. Embedded Items
 - a. This Trade Subcontractor shall provide all required embeds not shown in Contract Documents. Deliver embeds FOB to the jobsite, and submit detailed layouts for their installation. Embeds will be installed by TG07.2 Structural Concrete Subcontractor.
5. Testing and Inspections
 - a. This Trade Subcontractor shall include all costs for providing State inspections for temporary construction use of elevators, and permanent use of elevators and escalators.
 - b. This Trade Subcontractor shall include overtime to complete the State elevator inspections and all other testing and inspections. This Trade Subcontractor shall include overtime for all after-hours inspections, fire department inspections, pre-testing, and final testing, including the fire alarm and life-safety testing. This shall include, but not be limited to, overnight or weekend testing as required by project schedule, work sequencing and testing agency availability.
 - c. This Trade Subcontractor shall coordinate with Webcor/Obayashi Joint Venture to schedule State elevator inspections.

Elevators Specific Scope of Work:

1. Furnish and Install all Elevators and Associated Work shown in Contract Documents
 - a. This Trade Subcontractor shall furnish and install complete elevator systems in conformance with the Contract Documents.
2. Provide Elevator Commissioning
 - a. Provide elevator commissioning per Specification Section 14 08 00.
3. Dimensional Design
 - a. There will be no exceptions to Specification Section 14 21 00 paragraph 1.1 B.
 - b. Elevator system must be able to receive variance from the state without change to the structure or dimensions as designed.

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4. Provide Elevator Maintenance Contract
 - a. Provide elevator maintenance contract per Specification Section 14 01 00.

- b. Elevator Maintenance Subcontract will be assigned to the TJPA at Project Completion and the TJPA will directly manage the maintenance portion of the Subcontract.**

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4. Equipment, Guide Rails and Support

- a. Furnish and install all guide rails, supports and all other equipment required to install and operate this Trade Subcontractor's elevator systems.

5. Construction Use of Elevators and Maintenance During Construction

- a. The following elevators will be used during construction for construction work activities as shown in the schedule: SE 201, SE 202, PE 203, PE 403, PE 404, PE 502, PE704, PE 705. Include in bid all costs associated with construction use of these 8 elevators.
- b. Preliminary commissioning, OSHA testing, and State inspection of the 8 elevators to be used during construction shall be included in bid.
- c. Each elevator car will operate eighty (80) hours each week and this Trade Subcontractor will include all servicing, OSHA testing, rebalancing and all other work required to keep the elevators operating per manufacturer's requirements.
- d. Same-day equipment repair service by a qualified technician recognized by the manufacturer. Maximum response time for each service call is 2 hours. Breakdown time shall be limited to 24 hours per incident. If equipment is down longer than 24 hours, this Trade Subcontractor will be responsible for lost production.
- e. This Trade Subcontractor shall provide maintenance as required for all elevators that are completed and commissioned prior to the end of construction in bid. No exception will be taken to Specification Section 14 21 00 paragraph 1.6 A.
- f. This Trade Subcontractor shall supply, install and maintain protection blankets for cab interiors for use during construction prior to final turnover to the owner. This trade subcontractor to provide a second set of protection blankets for SE201, SE202 and SE401 after turnover to the owner. This Trade Subcontractor to furnish and install protection blanket hooks for the elevators to be used during construction, hook assembly will match finishes of elevator cab.
- g. Provide temporary threshold for elevator use during construction, and prior to final state elevator inspection furnish and install final threshold and final elevator finishes.
- h. This Trade Subcontractor shall furnish, install, and remove rental of call boxes for each temporary elevator as required for State Temporary Variance. This trade subcontractor will furnish and install all associated wiring, connections, penetrations and any other work required to complete elevator call box system. Prior to final state elevator inspection this trade subcontractor will remove all elevator cab call boxes and vestibule call boxes.
- i. Provide temporary lighting in cabs during construction use.
- j. Warranty period for the elevators shall not start until final TJPA acceptance.

6. Move-In / Startup

- a. This Trade Subcontractor shall move-in all tools, equipment, etc. required for the commencement of their work at least 1 week before the hoistway is ready for work, or as directed by Webcor/Obayashi Joint Venture.

7. Hoistway and Machine Room Access

- a. This Trade Subcontractor shall allow other trades to work off the top of car, false cars, or in the machine room during the construction of the hoistway or machine room.
- b. This Trade Subcontractor shall provide an elevator operator as necessary to run the false car or permanent car so that others may perform their scope of work. This Trade

Subcontractor shall coordinate with other trade subcontractors; compensation for this work shall be paid for directly by other trade subcontractors.

8. Security Surveillance and Access Control

- a. Elevator Car Camera and Elevator Card Readers (as specified in division 14) to be installed by this Trade Subcontractor, camera and card reader to be supplied by others.

9. Provisions by Others

- a. Pit electrical and lighting, machine room electrical, lighting and ventilation will be provided by others.
- b. Misc metal pit ladders, sump pit grating and pit screens will be provided by others.
- c. Cab floor tiles will be provided and installed by others.
- d. All structural guiderail supports will be provided by others, this Trade Subcontractor shall inform Webcor/Obayashi Joint Venture of all required guiderail supports not shown in Contract Documents.
- e. Barricades and protection will be provided by others.
- f. Grouting, patching, fire caulking, fireproofing and painting will be provided by others.
- g. Elevator Operator(s), during construction use of elevators, will be provided by others.

Escalators Specific Scope of Work:

1. Furnish and Install all Escalators and Associated Work shown in Contract Documents

- a. This Trade Subcontractor shall furnish and install complete escalator systems in conformance with the Contract Documents.

2. Provide Escalator Commissioning

- a. Provide escalator commissioning per Specification Section 14 08 00.

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3. Provide Escalator Maintenance Contract

- a. **Provide escalator maintenance contract per Specification Section 14 01 00.**
- b. **Escalator Maintenance Subcontract will be assigned to the TJPB at Project Completion and the TJPB will directly manage the maintenance portion of the Subcontract.**

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3. Equipment and Support

- a. Escalator structural mid-support columns are shown in the Contract Documents, this Trade Subcontractor must design, furnish and install these mid-supports to meet the requirements of the Contract Documents. Mid-support design must coordinate with the cladding that will be installed by others. Submittals showing all required mid-support specifications and details will be required to be approved by the Architect. Pre-engineering conference shall be held within one month of contract award to coordinate structural support engineering and design.

4. Escalator Components and Finishes

- a. Furnish and install all escalator components and finishes as specified in the Contract Documents.
- b. Furnish and install cladding support attachment systems necessary to receive cladding that will be supplied by others as shown in Contract Documents.

- c. Provide submittals showing where and how attachment of furring and cladding can be attached to escalator system. These submittals will need to be approved by the Architect to ensure that they coordinate correctly with the cladding systems to be installed by others.

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- d. Furnish and install all laminated glass barriers and associated glass support shoes as indicated in the escalator partial plans, escalator sections, and escalator details which are immediately adjacent to the escalator system as called for in the drawings. [Example: drawing series A1-73xx and drawing series A1-75xx; Detail 3 of Sheet A1-7550 and Detail 4 of Sheet A1-7554]

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5. Move-In / Startup

- a. This Trade Subcontractor shall move-in all tools, equipment, etc. required for the commencement of their work at least 1 week before escalator area is ready for work, or as directed by Webcor/Obayashi Joint Venture.
- b. Assume that the superstructure of the building will be completely erected prior to the escalator equipment arrives to the jobsite. Provide in bid all costs associated with unloading the escalator equipment on-site, moving equipment through the building and erecting escalator systems into final position.
- c. Include multiple relocations of the escalator systems as necessary for coordination with other trades to be directed by Webcor/Obayashi Joint Venture.

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6. Provisions by Others

- a. Ventilation in machine compartment and control space will be provided by others.
- b. Cladding will be furnished and installed by others.
- c. With the exception of the structural mid-support columns for escalators E407, E408, E409, E410, E510, E511, E512, E610, E611; all structural supports will be provided by others. This Trade Subcontractor shall inform Webcor/Obayashi Joint Venture of all required structural supports not shown in Contract Documents.
- d. Barricades and protection will be provided by others.
- e. Grouting, patching, fire caulking, fireproofing and painting will be provided by others.
- f. Escalator systems will be protected from inclement weather once delivered to staging areas.
- g. Laminated glass barriers which are indicated "by W-2 or W-5 Contractor"

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Alternates

This category includes all alternates to be priced as described in Specification Section 01 10 30/APD for this trade package. Alternates listed above the "Total Base Bid Price" on the Schedule of Bid Prices are considered "above the line" Alternates. Above the line Alternate costs will be part of the "Total Base Bid Price" and will be used as a basis of award. Alternates listed below the "Total Base Bid Price" on the Schedule of Bid Prices are considered "below the line" Alternates. Below the line Alternate costs will not be part of the "Total Base Bid Price" and will not be used as basis of award. Trade Subcontractor shall furnish a cost for all Alternates; failure to do so shall render the Bid non-responsive.

1. Above the line Alternates:

a. Deductive Specification Alternate #13

Provide pricing as described in Schedule of Alternates D1.5.

b. Deductive Specification Alternate #14

Provide pricing as described in Schedule of Alternates D1.6.

c. Deductive Specification Alternate #22

Provide pricing as described in Schedule of Alternates D1.14.

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2. DELETED Below the Line Alternates:

a. ~~Additive Alternate for Maintenance of Elevator Systems~~

Provide pricing as described in Specification 14 01 00

b. ~~Additive Alternate for Maintenance of Escalator Systems~~

Provide pricing as described in Specification 14 01 00

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END OF SCOPE OF THE PACKAGE AND BID ITEM INFORMATION

V. CONSTRUCTION SCHEDULE

Trade Subcontractor must pay particular attention to all other subcontractors whose work interfaces with the work of Trade Subcontractor. Trade Subcontractor will be responsible for any delay or production related impacts that result from the late completion of Trade Subcontractor's work tasks or that result from impacts to other subcontractors whose work Trade Subcontractor interfaces with during the performance of its subcontract.

Within fifteen (15) calendar days following the Trade Subcontractor's receipt of the Notice to Proceed, Trade Subcontractor shall:

1. Meet with Webcor/Obayashi Joint Venture's scheduler to review the detailed Trade Package Progress Critical Path Method (CPM) Schedule, Schedule I and demonstrate Trade Subcontractor's compliance with all lead times and tasks beginning from the date of Notice To Proceed (NTP), (award of contract), to the projected completion. Compliance shall be demonstrated by Trade Subcontractor providing performance information. Performance information may include, but is not limited to, evidence of procurement agreements, adequate resources or any other means deemed necessary to establish a high-level of confidence by Webcor/Obayashi Joint Venture that Trade Subcontractor has satisfactorily planned to execute the Work of its contract in a timely and orderly manner.
2. In addition to the information specified under Specification Section 01 13 10, Article 1.4, B.1-9, on every schedule, baseline and update, this Trade Subcontractor shall provide information, by Activity ID, of the number of personnel--excluding office staff, non-working supervisors, safety, and quality personnel--required to perform each activity.
 - a) If the TJPA or Webcor/Obayashi Joint Venture requests a recovery schedule pursuant to Specification Section 00 07 00, Article 7.01, G, said schedule shall be person-loaded as described above.
 - b) In addition to the information required in the Trade Subcontractor's Daily Report, per Section "IV, Trade Subcontractor Requirements", A, 4, b.1-6 of the Project Bidding Manual, the Trade Subcontractor shall delineate its crew by the last submitted update schedule activity ID excluding office staff, non-working supervisors, safety, and quality personal. The Daily Report is to include a list of those schedule activities that are being worked on with remaining duration to complete activity. The Daily Report is also to include a list of those activities that are scheduled to be worked on, that are not started or that are underway with an accompanying explanation as to why this work is not being completed.
3. Trade Subcontractor's Work shall be completed so that it shall not impact any succeeding activities, Milestones, and/or the critical path of the Project Schedule.
4. Trade Subcontractor shall coordinate with other trade subcontractors for detailed work schedules and all costs associated with the schedule coordination shall be included in the Contract Amount.
5. To assist the Trade Subcontractor in understanding its performance requirements, Webcor/Obayashi Joint Venture has included a CPM schedule in summary form (see Exhibit I).

The schedule is to clarify preceding and succeeding activities to this Trade Package work, as approved by TJPA. Assume that the schedule activities shown may change sequence and start plus or minus 90 calendar days from the date indicated on Exhibit I. Webcor/Obayashi Joint Venture has the right to re-sequence work activities to mitigate delays and warrants no specific performance sequence.

As described at Item 1, above, Trade Subcontractor shall meet with Webcor/Obayashi Joint Venture to review the Trade Subcontractor's Schedule. If necessary, Trade Subcontractor shall provide revised performance information until acceptable to Webcor/Obayashi Joint Venture and the TJPA, which will be then be incorporated into the Project Schedule. No progress payments will be made to Trade

Subcontractor until acceptance of Trade Subcontractor's performance information by both
Webcor/Obayashi Joint Venture and the TJPA.

END OF CONSTRUCTION SCHEDULE

VI. INSURANCE AND BONDING REQUIREMENTS

The insurance requirements outlined below supersede the related requirements in Specification Section 00 08 05 and Section 16 of the Long Form Subcontract.

1. TRADE SUBCONTRACTOR'S LIABILITY INSURANCE

Trade Subcontractor shall maintain in full force and effect, for the period covered by the subcontract, the following liability insurance with the following minimum specified coverage or coverage as required by laws and regulations, whichever is greater:

- A. Workers' Compensation in the statutory amount, including Employers' Liability coverage with limits not less than \$1,000,000 each accident, injury, or illness, including coverage for U.S. Long Shore and Harbor Workers' Act benefits, and Jones Act benefits, and Federal Employers Liability Act.
- B. Commercial General Liability insurance with limits not less than \$10,000,000 each occurrence combined single limit for bodily injury and property damage, including coverage for Contractual Liability, Independent Contractors, Explosion, Collapse, and Underground (XCU), Personal Injury, Broadform Property Damages, and completed operations. The required limit may be satisfied through a combination of primary commercial general liability and excess liability policies. Notwithstanding Section 16.7 of the Long Form Subcontract, the requirement to maintain \$10,000,000 in Commercial General Liability Insurance shall apply ONLY to Trade Subcontractor. Trade Subcontractor's subcontractors and/or lower-tier subcontractors shall maintain the levels of Commercial General Liability Insurance set forth in Section 16 of the Long Form Subcontract agreement.
- C. Commercial Automobile Liability insurance with limits not less than \$1,000,000 each occurrence combined single limit for bodily injury and property damage, including owned, hired or non-owned vehicles, as applicable.

2. ADDITIONAL COVERAGES

- A. Professional Liability Insurance: In the event that Trade Subcontractor employs professional engineer(s) or land surveyor(s) for performing Pre-Construction Services, field engineering, or preparing design calculations, plans and specifications, Trade Subcontractor shall carry or shall require its retained engineers and land surveyors to carry professional liability insurance with limits not less than \$2,000,000 each claim with respect to acts, errors, or omissions in connection with professional services to be provided under the subcontract, with any deductible not to exceed \$250,000 each claim. With respect to land surveyors only, the Trade Subcontractor or its retained engineers should only have to evidence \$1,000,000 in professional liability insurance covering that scope of work, consistent with the standard requirements set forth in Article 16 of the Long Form Subcontract.
- B. Environmental Pollution Liability Insurance: Trade Subcontractor or its subcontractors, who perform abatement of hazardous or contaminated materials removal shall maintain in force, through the term of this subcontract, Trade Subcontractor's pollution liability

insurance with limits not less than \$5,000,000 each occurrence combined single limit (true occurrence form), including coverage for on-site or off-site third party claims for bodily injury and property damage.

3. INSURANCE FOR OTHERS

For general liability, environmental pollution liability and automobile liability Trade Subcontractor shall include as additional insured the Contractor (Webcor/Obayashi Joint Venture), TJPA, its board members, and all authorized agents and representatives, and members, directors, officers, trustees, agents and employees of any of them.

4. FORMS OF POLICIES AND OTHER INSURANCE REQUIREMENTS

- A. Workers' Compensation Insurance shall be submitted to the Contractor before the commencement of any of the Work on Site.
- B. Before commencement of the work of this subcontract, certificates of insurance in form and with insurers acceptable to Contractor, evidencing all required insurance and with proper endorsements from Trade Subcontractor's insurance carrier identifying as additional insured the parties indicated under paragraph 3 above, shall be furnished to Contractor with complete copies of policies in accordance with the Project Bidding Manual.
- C. Approval of the insurance by the Contractor shall not relieve or decrease the extent to which Trade Subcontractor or subcontractors of any tier may be held responsible for payment of any and all damages resulting from its operations. All policies of insurance and certificates shall be satisfactory to Contractor.
- D. Trade Subcontractor and its subcontractors shall comply with the provisions of California Labor Code Section 3700. Prior to commencing the performance of work, Trade Subcontractor and all of its subcontractors shall submit to the Contractor a certificate of insurance evidencing liability for workers compensation or proof of self-insurance in accordance with the provisions of the California Labor Code.
- E. Liability insurance, except for professional liability insurance, shall be on an occurrence basis, and said insurance shall provide that the coverage afforded thereby shall be primary coverage (and non-contributory to any other existing valid and collectable insurance) to the full limit of liability stated in the declaration, and such insurance shall apply separately to each insured against whom claim is made or suit is brought, but the inclusion of more than one insured shall not operate to increase the insurer's limits of liability.
- F. Trade Subcontractor shall maintain professional liability coverage continuously throughout the term of this subcontract, and without lapse, for a period three years beyond the Contract Final Completion date to the effect that should occurrences during the Contract term give rise to claims made after expiration of the Contract, such claims shall be covered by such claims-made policies.

- G. Each such policy shall provide that no cancellation or non-renewal shall occur without the carrier giving to Contractor at least 30 days written notice prior thereto.

All notices shall be made to:

Webcor / Obayashi Joint Venture
1751 Harbor Bay Parkway, Suite 200
Alameda, CA 94502

- H. Trade Subcontractor, upon notification of receipt by Contractor of any such notice, shall provide Contractor a certificate of the required new or renewed policy at least 10 days before the effective date of such cancellation, change or expiration, with a complete copy of new or renewed policy, if requested.
- I. If, at any time during the life of this subcontract, Trade Subcontractor fails to maintain any item of the required insurance in full force and effect, all work of this subcontract may, at Contractor's sole option, be discontinued immediately, and all subcontract payments due or that become due will be withheld until notice is received by the Contractor as provided in the immediately preceding Paragraph 4.G that such insurance has been restored to full force and effect and that the premiums thereof have been paid for a period satisfactory to the Contractor.
- J. Any failure to maintain any item of the required insurance may, at Contractor's sole option, be sufficient cause for termination for default of this subcontract.

5. QUALIFICATIONS

Trade Subcontractor must provide coverage from insurance companies who shall be legally authorized to engage in the business of furnishing insurance in the State of California. All insurance companies shall have a current A.M. Best Rating not less than "A-, VIII" and shall be satisfactory to Contractor.

6. SUBGUARD AND BONDING

- A. Trade Subcontractor is required to provide a Bid Bond for 5% of the total contract value.
- B. Trade Subcontractor is not required to provide a Payment and Performance Bond. Subguard will be used in lieu of a Payment and Performance Bond.
- C. Trade subcontractor shall provide all documentation required by Subguard Surety to verify qualification for program.

END OF INSURANCE REQUIREMENTS

VII. CONTRACT DOCUMENT LIST

The Contract Documents for this Trade Package include the following:

B... A

Document Name	Description	Revision Name	Issue Date
Long Form Subcontract		Rev. 0	2014-01-30
Specification Division 00 and Division 01	Division 00 and Division 01 defined in Specification Section 00 01 10	Field Order T-00025	2014-01-30
Technical Specifications	Technical Specifications defined in Specification Section 00 01 10	TG14.1 IFB	2014-01-23
Drawings	Defined in Drawing List	TG14.1 IFB	2014-01-23
Narrative	Addendum #1 – Changes to Specifications and Drawings	TG14.1 IFB – Addendum #1	2014-02-21
Technical Specifications	Addendum #1 – Defined in Specification Section 00 01 10	TG14.1 IFB – Addendum #1	2014-02-21
Drawings	Addendum #1 – Defined in Drawing List	TG14.1 IFB – Addendum #1	2014-02-21
Project Bidding Manual		Rev. 23	2014-02-27
<u>Exhibit A</u>	<u>Trade Subcontractor Bid Package Manual and Forms – Contract #301001401</u>	Rev. B Rev. A	2014-03-18 2014-02-27
Exhibit B	Warranty		2010-09
Exhibit C	Lien Releases	Rev. 07/2012	2012-08-22
Exhibit D	Sample Certificate of Insurance and Additional Insured Endorsement		
Exhibit E	LEED Subcontractor Submission Letter and Data Sheet	Rev. 2 3	2014-03-12 2013-03-04
Exhibit F	BIM Requirements	Rev. 1	2014-01-30
Exhibit G	Subcontractor Payment Requisition		2012-04-03
Exhibit H	Site Specific Safety Plan	Rev. 8	2013-12-19
Exhibit I	Schedule	Rev. 0	2014-01-23
Exhibit J	Contractor Quality Control Plan	Rev. 10	2013-11-04
Exhibit K	Sediment and Erosion Control Plan		2011-02
Exhibit L	Hazardous Materials Management Plan	Rev. 1	2011-03-11

B... Exhibit A – TG14.1,
Revised and Reissued for Addendum #2
March 18, 2014 ...B

Document Name	Description	Revision Name	Issue Date
Exhibit M	RFI Q&A Log		2014-01-28
Exhibit N	Noise & Vibration Mitigation Management Plan	Rev. 4	2012-09-07
Exhibit O	Air Quality Management Plan	Rev. 5	2012-01-16
Exhibit P	Construction Waste Management Plan	Rev. 6	2013-11-07
Exhibit Q	Apprenticeship Program	Rev. 0	2012-03-23
Exhibit R	Survey Information	Rev. 0	2012-03-23
Exhibit S	Traffic Control Plan	Rev. 2	2012-08-22
Exhibit U	Submittal Schedule	Rev. 0	2013-11-07
Exhibit W	Waterproofing		2011-05

A ...B

END OF CONTRACT DOCUMENT LIST

VIII. SUPPLEMENTARY DOCUMENTS LIST FOR PREVIOUSLY RELEASED TRADE PACKAGES (as of January 30, 2014)

Several Trade Packages for the Transbay Transit Center Project have been previously issued, are currently under construction and/or are currently in the bidding process. This Trade Subcontractor shall review all of the supplemental documents listed below, which have been determined to be related to this Trade Package scope of work, and be familiar with all conditions affecting this Trade Subcontractor's scope of work. All associated costs due to the conditions and plans of the reference documents including all coordination shall be included in the Bid Amount.

The documents of the major related Trade Packages listed below are currently available through Webcor/Obayashi Joint Venture's FTP website:

Document Type	Description	FTP Folder
Supplementary Document	Change Orders	1
Supplementary Document	Field Orders	2
Supplementary Document	Submittals	3
Supplementary Document	TG03 Buttress, Shoring, Excavation (BSE) Documents	4
Supplementary Document	TG06.0 Below Grade Concrete Documents	5
Supplementary Document	TG07.1R Structural Steel Superstructure Documents	6
Supplementary Document	TG05.8 Rooftop Cranes Documents	In the proposal process (The proposal documents are available. Refer to the TJPA website to obtain the documents.)
Supplementary Document	TG05.10 Temporary Facilities Documents	In the proposal process (The proposal documents are available. Refer to the TJPA website to obtain the documents.)
Supplementary Document	TG07.2 Structural Concrete Superstructure Documents	Under Bid (The bid documents are available. Refer to the TJPA website to obtain the documents.)

Supplementary Document	TG08.1 Glazing Design-Build Documents	Under Bid (The bid documents are available. Refer to the TJPA website to obtain the documents.)
Supplementary Document	TG08.2 Exterior Awning System Documents	Under Bid (The bid documents are available. Refer to the TJPA website to obtain the documents.)
Supplementary Document	TG18.1 Bus Ramp Documents	Under Bid (The bid documents are available. Refer to the TJPA website to obtain the documents.)
Supplementary Document	Exhibit M Attachments	50

Trade Subcontractor is responsible for reviewing and coordinating its work with all supplementary information provided.

The Supplementary Documents are available for download on the following FTP website:
<https://webcor.box.com/s/hkup3jrzs377v507p3bs>

Password: WebcorBid!

END OF SUPPLEMENTARY DOCUMENTS LIST

ATTACHMENT 1 BID FORM AND SCHEDULE OF BID PRICES

TO THE TJPA EXECUTIVE DIRECTOR

In response to the Advertisement for Bids for the following public work:

TG14.1– Elevators and Escalators

The undersigned Bidder hereby proposes and agrees to execute the required contract, shall it be awarded to said Bidder, and to do all the work and furnish all the materials therefor, all in accordance with the Specifications and Drawings referred to in said Advertisement for Bids and at the prices named in the attached Schedule of Bid Prices TG14.1, The Elevators and Escalators Package (TG14.1A, and TG14.1B), or any individual Part thereof (TG14.1A and/or TG14.1B).

The undersigned declares: That it is the Bidder (or by holding the position below indicated is authorized to execute this Bid Form on behalf of the Bidder); that said Bidder submits this Bid; that said Bidder has not, nor have any of its agents, officers, representatives or employees, been guilty of collusion with any officer or representative of Webcor/Obayashi or the TJPA, or with any other party or parties in the submission of this Bid; nor has said Bidder received any preferential treatment by any officer or employee of Webcor/Obayashi or the TJPA in the making or submitting of this Bid. The undersigned declares under penalty of perjury that all representations made on this Bid Form are true and correct.

Executed on _____ 20 _____

Telephone Number

Name of Firm or Corporation

Bidder or Authorized Representative

Position in Firm or Corporation

S.F. Business Tax Registration
Certificate Number

Address of Firm or Corporation Zip Code

Contractor's California License No.:

License Expiration Date:

BOND OR CHECK REQUIRED: There is herewith attached, as required by law, bid security in accordance with Project Bidding Manual.

NONDISCRIMINATION IN CONTRACTS AND SMALL BUSINESS ENTERPRISE PROGRAM:
Provisions of chapter 12B (including its implementing Rules and Regulations) of the San Francisco Administrative Code, and the TJPA Small Business Enterprise Program are incorporated herein and by reference made a part of the Bid Sections as though fully set forth. The Bidder and all lower-tier subcontractors and suppliers shall comply with these provisions and shall submit all required sections in a timely manner.

SCHEDULE OF BID PRICES
TG14.1 – Elevators and Escalators

Name of Bidder: _____

The undersigned, having examined all referenced documents and the Drawings, understanding the terms and conditions of the Contract Documents and the local conditions affecting the performance and costs of the Work, and having fully inspected the Site in all its particulars, hereby proposes and agrees to fully perform the Work as indicated on the Drawings and in accordance with the requirements of the Contract Documents within the time stated therein, and for the following price(s):

B... A

No.	Item Description	Unit of Measure	Bid Price
<u>TG14.1A Elevators</u>			
1	BELOW GROUND LEVEL - Furnish, Install and Commission Elevators	LS	
2	GROUND LEVEL AND ABOVE - Furnish, Install and Commission Elevators	LS	
3	Provide Maintenance of Elevators per Specification Section 14 01 00	LS	
4 3	Deductive Specification Alternate No. 13	LS	
5	Deductive Specification Alternate No. 14	LS	
6 5	Additive Specification Alternate No. 22	LS	
TOTAL BID PRICE (For Elevators Only)			
PERFORMANCE AND PAYMENT BOND RATE (This is for informational purposes only)		%	
POTENTIAL PAYMENT AND PERFORMANCE BOND COST (Total Bid Cost x Bond Rate, this is for informational purposes only)		\$	
7 6	DELETED Additive Alternate for Maintenance of Elevator Systems per Specification Section 14 01 00	LS	

A ...B

(Bid Form and Schedule of Bid Prices continued on next page)

B... A

No.	Item Description	Unit of Measure	Bid Price
<u>TG14.1B Escalators</u>			
8	GROUND LEVEL AND ABOVE - Furnish, Install and Commission Escalators	LS	
9	Provide Maintenance of Escalators per Specification Section 14 01 00	LS	
TOTAL BID PRICE (For Escalators Only)			
PERFORMANCE AND PAYMENT BOND RATE (This is for informational purposes only)		%	
POTENTIAL PAYMENT AND PERFORMANCE BOND COST (Total Bid Cost x Bond Rate, this is for informational purposes only)		\$	
8	DELETED Additive Alternate for Maintenance of Escalator Systems per Specification Section 14 01 00	LS	

A ...B

Bidder shall furnish a price for all Bid items, including all alternates, set forth in the Schedule of Bid Prices for TG14.1A and/or TG14.1B. Failure to furnish a price for all items set forth in the schedule of Bid Prices shall render Bidder's Bid for TG14.1A and/or TG14.1B non-responsive and will be cause for its rejection.

In case of discrepancy between the sum of Bid item amounts and the Total Base Bid Price for TG14.1A and/or TG14.1B, the sum of said amounts shall prevail. In case of discrepancy between words and figures, the words shall prevail.

Bidder acknowledges and agrees that if a Combined Price is a discount of the sum of the Base Bid Prices for the individual Parts and the Combined Price is accepted and awarded to the Bidder, the TJPA shall calculate the percentage discount and adjust the individual lump sum Bid Prices indicated on the Schedule of Bid Prices using that calculated percentage.

(Bid Form and Schedule of Bid Prices continued on next page)

	Work Part	Total Bid Price in \$'s (Including all discounts for any multi-part bid)
I	TG14.1A	
II	TG14.1B	
III	TG14.1A, and TG14.1B (including all discounts)	

	Total Bid Price in Written Words for each Work Part
I	TG14.1A Total Bid Price in Written Words: <hr/> <hr/>
II	TG14.1B Total Bid Price in Written Words: <hr/> <hr/>
III	TG14.1A and TG14.1B Total Bid Price in Written Words (including all discounts): <hr/> <hr/>

The TJPA reserves the right to select the Bidder or Bidders whose combined bids provide the TJPA with the overall lowest total price for the completion of all work described in Bid Package TG14.1, Parts TG14.1A (Elevators Package) and TG14.1B (Escalators Package). In making its determination of overall lowest total price, The TJPA reserves the right to reject any Bid. Each Bidder is invited to submit pricing on any or all individual Parts (i.e., Elevators Package and/or Escalators Package, Rows I and II, respectively, in the examples below) and all two Parts (i.e., Elevators Package and Escalators Package, Rows I and II, respectively, in the examples below). If a Bidder submits pricing for a combination of all two Parts by providing a discounted combination price, that is acceptable; however, that Bidder is then also required to submit pricing for each individual Part within the combination(s) selected by the Bidder that the Bidder will honor if selected to complete an individual Part or Parts (e.g., a Bidder submitting a bid price under Row III for the combined Elevator and Escalator Packages must also submit individual bid prices under Rows I and II for the Elevator Package and the Escalator Package). The TJPA shall consider each Bidder's Preferred Quantity of Awarded Parts when determining the overall lowest total price.

(Bid Form and Schedule of Bid Prices continued on next page)

Example 1: The following is presented as an example of the bid evaluation and overall lowest total price methodology:

	Bidder	A	B	C	D	Total
I	LS Bid Price for TG14.1A	\$30	No Bid	\$31	\$28	
II	LS Bid Price for TG14.1B	\$25	\$20	\$26	No Bid	
III	LS Bid Comb Price for TG14.1A and TG14.1B	\$50	No Bid	\$54	No Bid	
	Overall Lowest LS Price		\$20		\$28	\$48

Explanation of Example 1: The overall lowest total price is \$48. This results from selecting Bidder D for the Elevator Package and Bidder B for the Escalator Package. The price of these two bids combined (\$48) is lower than the combined bid (\$50) if Bidder A was awarded the Elevator and Escalator Package.

Example 2: The following is presented as an example of the bid evaluation and overall lowest total price methodology:

	Bidder	A	B	C	D	Total
I	LS Bid Price for TG14.1A	\$27	\$26	\$30	No Bid	
II	LS Bid Price for TG14.1B	\$22	No Bid	\$25	\$27	
III	LS Bid Comb Price for TG14.1A and TG14.1B	\$46	No Bid	\$51	No Bid	
	Overall Lowest LS Price	\$46				\$46

Explanation of Example 2: The overall lowest total price is \$46. This results from selecting a combined price for the Elevator Package and the Escalator Package from Bidder A. The fact that Bidder A was willing to discount the combined Elevator and Escalator Packages allowed the TJPA to realize a cost savings of \$2 when compared to accepting the lowest bid on each individual scope of work.

Accepted VE Proposals, if any, shall be deducted from the Total Base Bid Price to determine the Bidder's Total Bid Price.

Alternates, if listed, may be additive or deductive. Bidder must bid all Alternates specified above.

Alternates shall cover all costs of alternate Work only as indicated on the Bid Documents and shall not include any Work under any base bid items. Alternate prices shall include markups for overhead and profit. The Bidder shall be responsible to indicate by using plus (+) or minus (-) signs whether alternate amounts are intended to be added to or subtracted from the Total Bid Price.

The TJPA will make the actual addition of alternates to or subtraction of alternates from the Total Bid Price. In case an additive alternate amount does not include a plus or minus sign, the amount will be presumed to be additive (+) to the Total Bid Price. In case a deductive alternate amount does not include a plus or minus sign, the amount will be presumed to be deductive (-) from the Total Bid Price.

In determining the successful Bidder, the total of all Bid items included in the Total Base Bid Price, and accepted Value Engineering ("VE") Proposals, will be considered in determining the Bidder's Total Bid Price.

The Contract, if awarded, will be awarded to the responsible Bidder who submits the lowest responsive Total Bid Price.

W/O and the TJPA reserve the right to add to or deduct any of the alternates specified in the Schedule of Bid Prices from the Contract Award after the lowest responsible Bidder has been determined. If any alternates are added or deducted after the Contract award, the added or deducted alternate shall be incorporated into the Contract by Change Order at the bid price listed in the Schedule of Bid Prices. Bidder agrees to hold the bid price for all alternates listed above for 90 days following the TJPA's Board approval of the Contract award.

Bidder acknowledges and agrees that this Bid, if not withdrawn prior to the scheduled time for receipt of Bids, shall not be withdrawn for a period of 90 days thereafter.

Bid submitted by:

_____(seal)
Name of Firm, Corporation, Partnership or Joint Venture

Names of All Partners, if Partnership

State of Incorporation, if Corporation

Signature of Bidder or Authorized Representative

Date of Bid

Name and Title of Authorized Representative

Note: If Bidder is a corporation, set forth the legal name of the corporation together with the signature of the officer or officers authorized to sign contracts on behalf of the corporation. If Bidder is a partnership, set forth the name of the firm together with the signature of the partner or partners authorized to sign contracts on behalf of the partnership. A corporate authority document which indicates individual is authorized to execute bid documents on behalf of the Firm, Corporation, Partnership or Joint Venture shall be attached.

END OF BID FORM AND SCHEDULE OF BID PRICES

ATTACHMENT 2 LOGISTICS

The following attached drawings present the conceptual logistical as-built plans. Locations and configurations are for reference and subject to change:

B...

SL-001 Site Logistics Plan

SL-002 Site Truck Routing Plan

SL-025 Site Logistics Construction Zones

SL-027 Rooftop Obstructions – For Reference Only

A101 Personnel and Material Hoist Layout – Bracing

A102 Personnel and Material Hoist Layout – Lower Concourse

A103 Personnel and Material Hoist Layout – Ground Level

A104 Personnel and Material Hoist Layout – Second Level

A105 Personnel and Material Hoist Layout – Bus Deck Level

A106 Personnel and Material Hoist Layout – Roof Level

A107 Personnel and Material Hoist #1 Location

A108 Personnel and Material Hoist #2 Location

A109 Personnel and Material Hoist #3 Location

A110 Personnel and Material Hoist #4 Location

X-01 Logistics Aerial View

X-03 3D Section

X-04 3D Section

X-05 3D Section West Facing

X-06 Crane Section

X-07 Roof Rail-Mounted Cranes

X-08 Temporary Platform

X-15 Rooftop Crane and Tower Crane Logistics

X-16 Natoma-Howard St. Area Logistics

X-17 Rail Crane Logistics

X-18 Rail Crane Logistics 3D Section

...B

END OF LOGISTICS

ISSUANCE LOG

REV No.	ISSUE	DATE
0	Issued For Bid TG14.1	2014-01-30
A	TG14.1 IFB Addendum #1	2014-02-27
B	TG14.1 IFB Addendum #2	2014-03-18

END OF EXHIBIT A

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1751 HARBOR BAY PARKWAY
SUITE 200
ALAMEDA, CA 94502
Phone: (510) 748-1900
Fax: (510) 748-7829

JOB SITE
Address: 175 BEALE ST
SAN FRANCISCO, CA 94105
Phone: (415) 398-2700
Fax: 510-748-7830

TRANSBAY TRANSIT CENTER

SAN FRANCISCO, CA

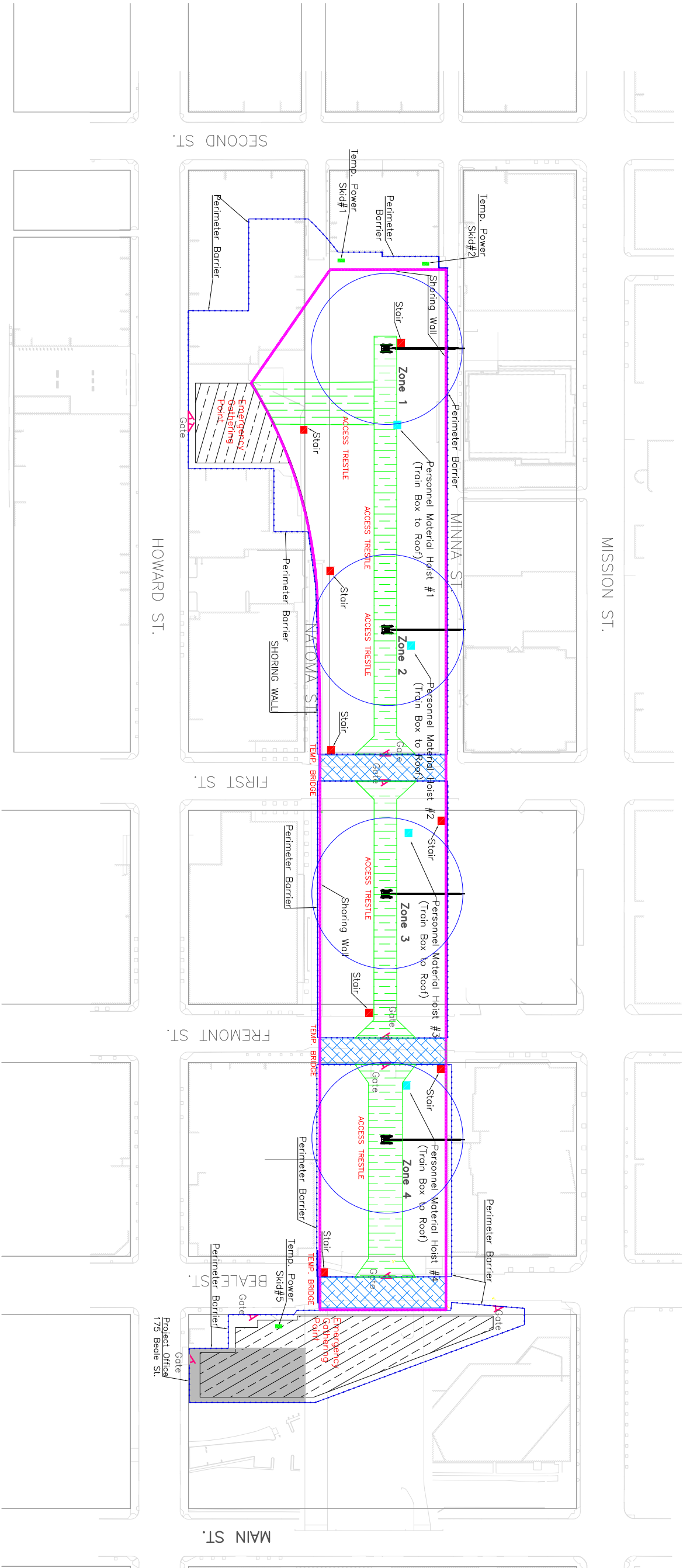
Revision Block

Rev. No.	Description	Date
02	Updated Main & Material Hoists	06-13-10
D	Updated for T02B BSE	06-27-10
E	Updated for T04, T1004 & RNP	10-12-10
F	Updated for T02B BSE	10-20-10
G	Updated for T02B & T02B.2	03-22-12
H	Updated for T02B Below Grade FRB	06-10-12
I	Updated for T02B Below Grade	06-20-12
J	Updated for T02B Below Grade	08-23-12
K	Updated for T02B & Addendum B5	03-26-2014
Drawn By	HC	Date 10-20-10
Checked By	MP	Date 10-20-10

Site Logistics

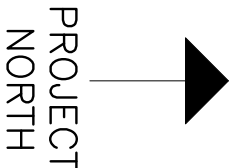
SCALE: N/A

SL-001



GENERAL NOTES

1. No jobsite parking available.
2. No loading or unloading of materials on city streets at any time. Violators will be cited and fined.
3. All deliveries must be coordinated with Webcor/Obayashi.
4. Storage of materials in Staging Areas must be coordinated with Webcor/Obayashi.
5. All visitors must check in at the Webcor/Obayashi project office.
6. Perimeter barrier location is for reference only. Each trade subcontractor shall identify the required perimeter barrier locations in the contract documents.
7. Location, size, and width of access trestles and temporary bridges to be designed per the requirements in the construction documents. Actual Locations are subject to change.
8. Personnel Material Hoists and stair locations are diagrammatic in nature and do not depict placement of hoists and stairs. Location to be coordinated with and approved by Webcor/Obayashi.
9. For staging areas, locations, and availability, see the latest issued revision of spec 01 14 19 – Restriction of Use to Site Areas. Usage of these areas will be at the discretion and assigned by Webcor/Obayashi. Refer to Contract Documents.
10. Location and configuration of gates are for reference only. For location and design refer to contract documents.



PROJECT
NORTH

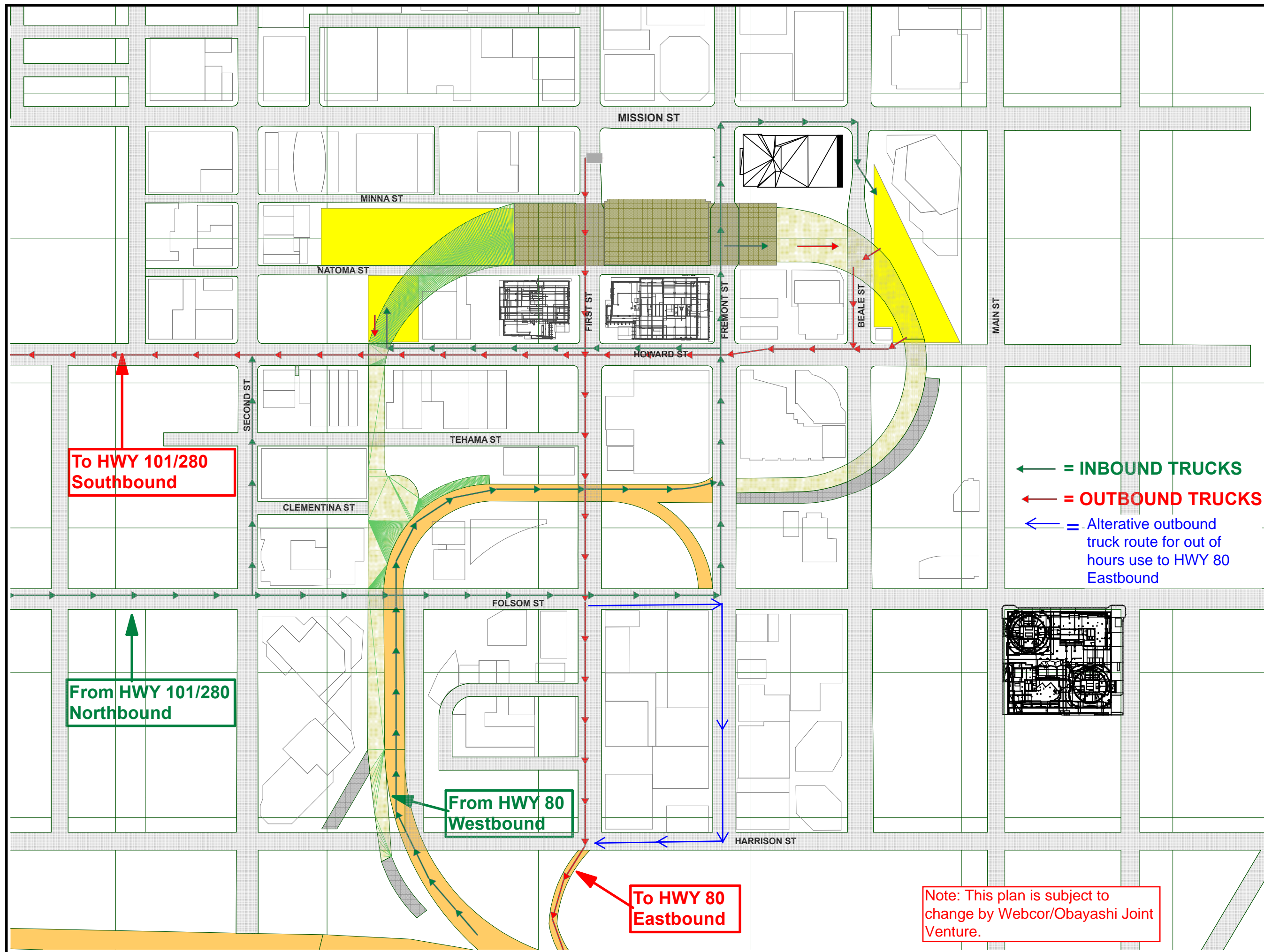
NOT FOR CONSTRUCTION

IMPORTANT NOTE:

THESE DRAWINGS ARE NOT INTENDED TO REPLACE THE DESIGN ARCHITECTURAL AND STRUCTURAL DRAWINGS. ALL DIMENSIONS, LOCATIONS, AND BE CHECKED ON-SITE AGAINST THE LATEST DESIGN AND DOCUMENTATIONS.

SHEET TITLE

SL - 002



JOBSITE
Address: 175 BEALE ST
SAN FRANCISCO, CA 94105
Phone: 415-978-5700
Fax: 510-748-7830

TRANSBAY TRANSIT CENTER

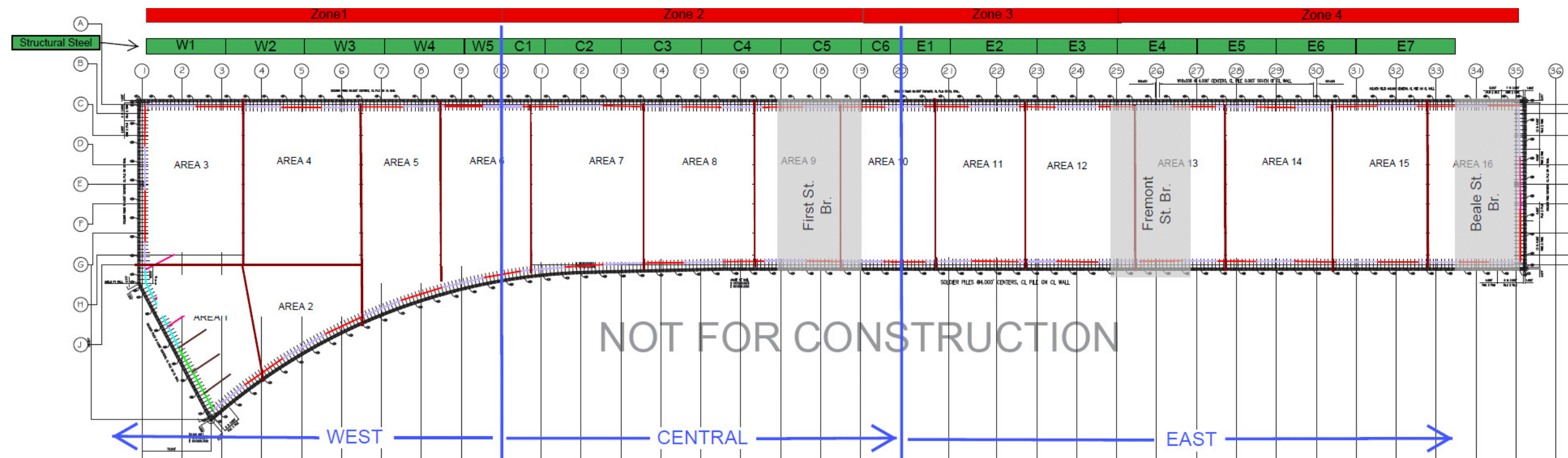
SAN FRANCISCO, CA

Rev. No.	Description	Date
01	Updated for TQ06 Below Grade Addendum 02	08-22-12
02	Updated for TQ07.1 IFB	10-31-12
03	Updated for TQ07.1W, TQ07.1C & TQ07.1E	04-05-13

Job No.: 30100

SCALE: N/A

SL-025



IMPORTANT NOTE:

THESE DRAWINGS ARE NOT INTENDED TO REPLACE THE DESIGN ARCHITECTURAL AND STRUCTURAL DRAWINGS. ALL DIMENSIONS, LOCATIONS, AND ELEVATIONS SHOWN ON THIS DRAWING ARE TO BE CHECKED ON-SITE AGAINST THE LATEST DESIGN AND DOCUMENTATIONS.

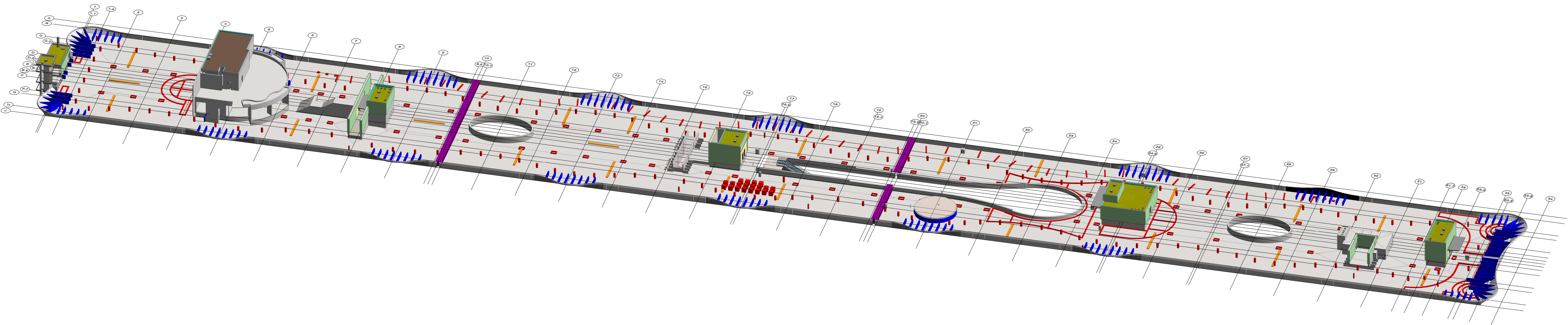
Transbay Transit Center
San Francisco, California

REV	DATE	DESCRIPTION
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2		MODEL FILE: X
3		DRAWN BY: Ty McConnell X
4		CHECKED BY: X
5		COPYRIGHT

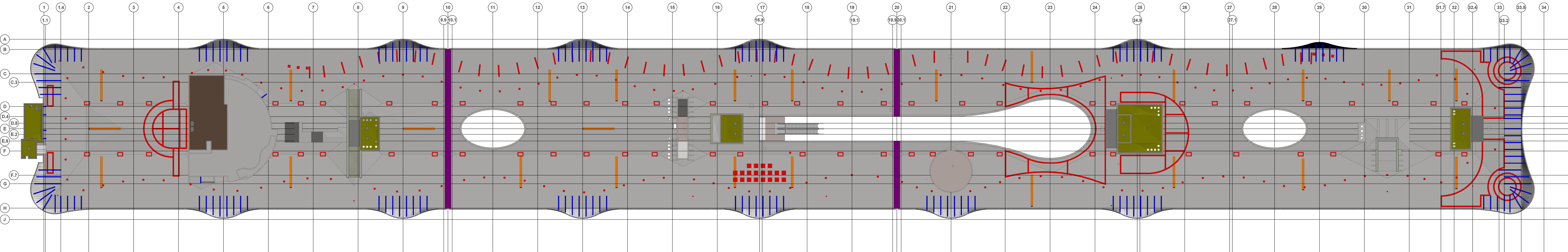
Rooftop
Obstructions
For Reference
Only

SL-027

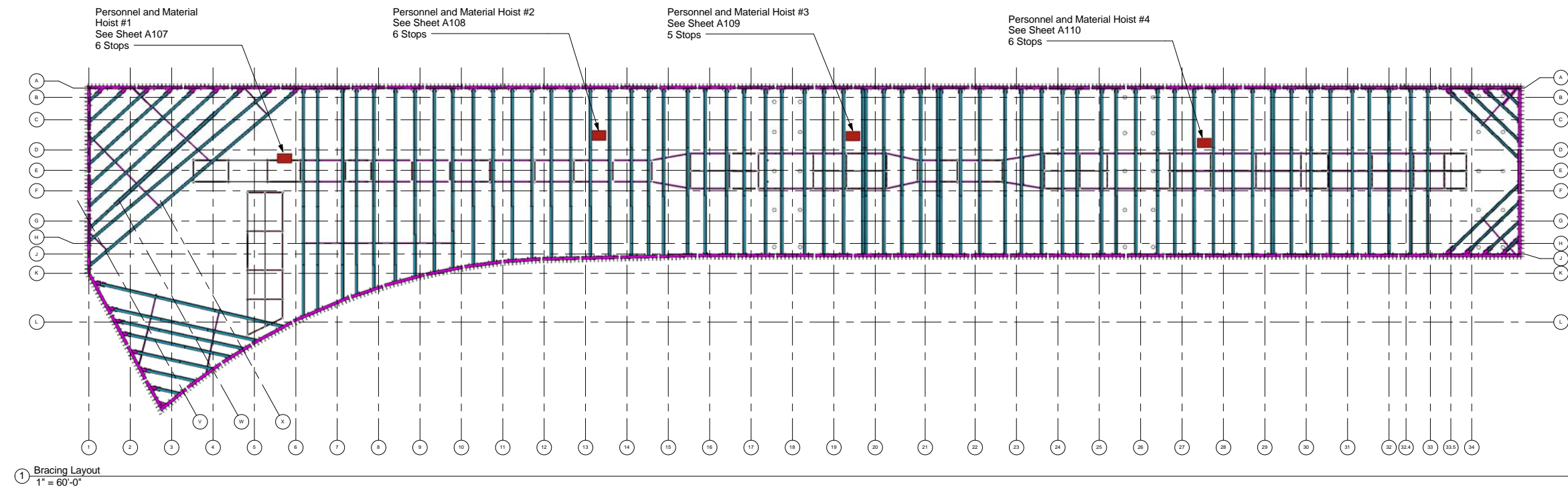
Scale AS SHOWN



2 3D
SCALE: NTS



1 Plan
SCALE: 1" = 20'-0"



NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



JOINT VENTURE

175 Beale Street
San Francisco, CA

Transbay Transit Center

San Francisco, CA

R1	12/16/2013	
R2	12/20/2013	
MARK	DATE	DESCRIPTION
PROJECT NO:		X
MODEL FILE:		X
DRAWN BY:		X
CHKD BY:		X
COPYRIGHT		
SHEET TITLE		
Personnel and Material Hoist Layout - Bracing		
A101		
Scale	AS SHOWN	



175 Beale Street
San Francisco, CA

Transbay Transit Center
San Francisco, CA

R1	12/16/2013	
R2	12/20/2013	
MARK	DATE	DESCRIPTION

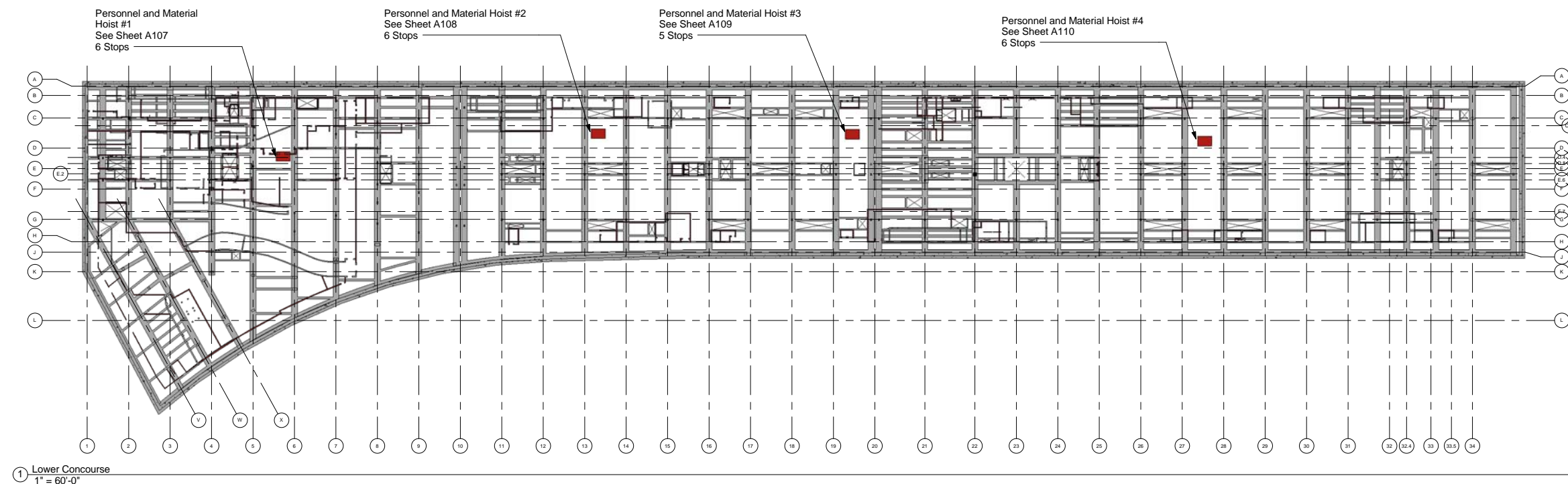
PROJECT NO:	X
MODEL FILE:	X
DRAWN BY:	X
CHKD BY:	X
COPYRIGHT	

SHEET TITLE

Personnel
and Material
Hoist Layout
- Lower
Concourse

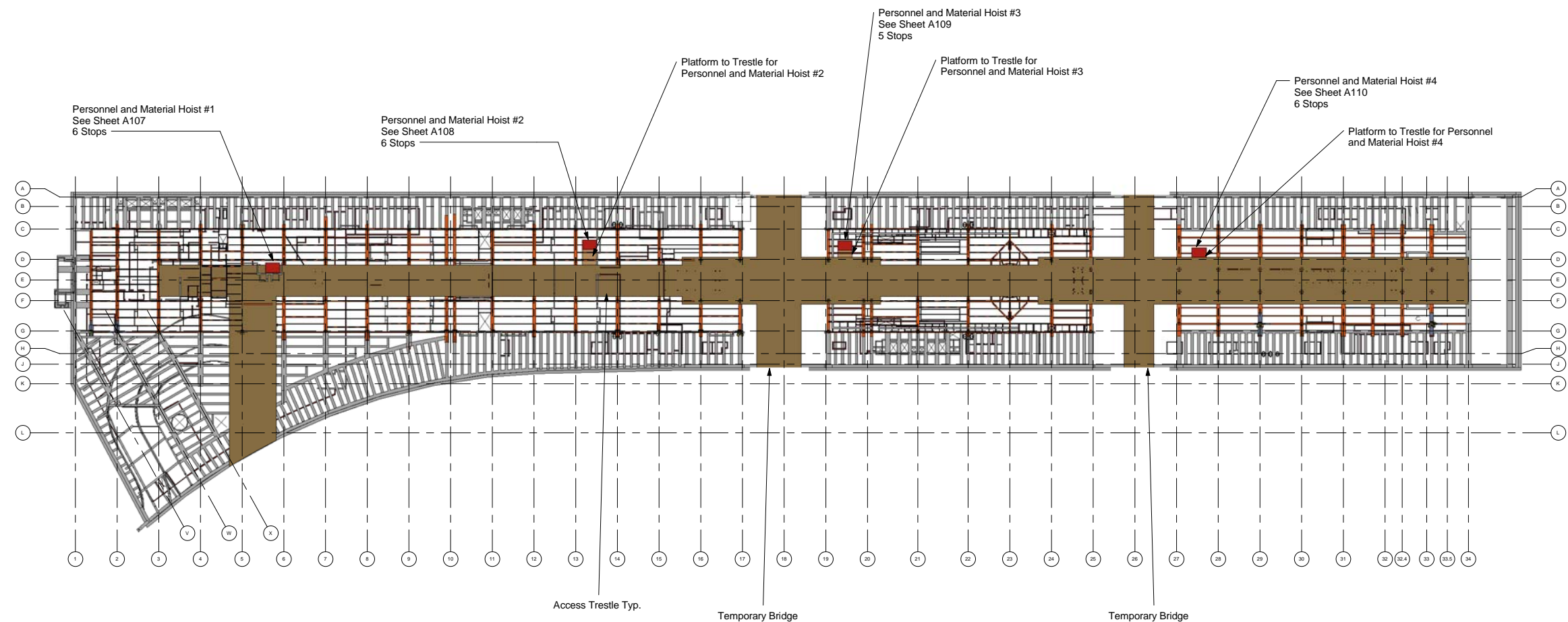
A102

Scale AS SHOWN



① Lower Concourse
1" = 60'-0"

NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



① Ground Level
1" = 60'-0"

NOTES:

1. Personnel and Material Hoists #2, #3, and #4 platforms to be removed when trestle is removed in surrounding area.
2. Personnel and Material Hoist #1 to be installed after trestle and temporary bracing has been removed.

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



175 Beale Street
San Francisco, CA

Transbay Transit Center

San Francisco, CA

R1	12/16/2013	
R2	12/20/2013	
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SHEET TITLE
Personnel and Material Hoist Layout - Ground Level

A103

Scale AS SHOWN



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San Francisco, CA

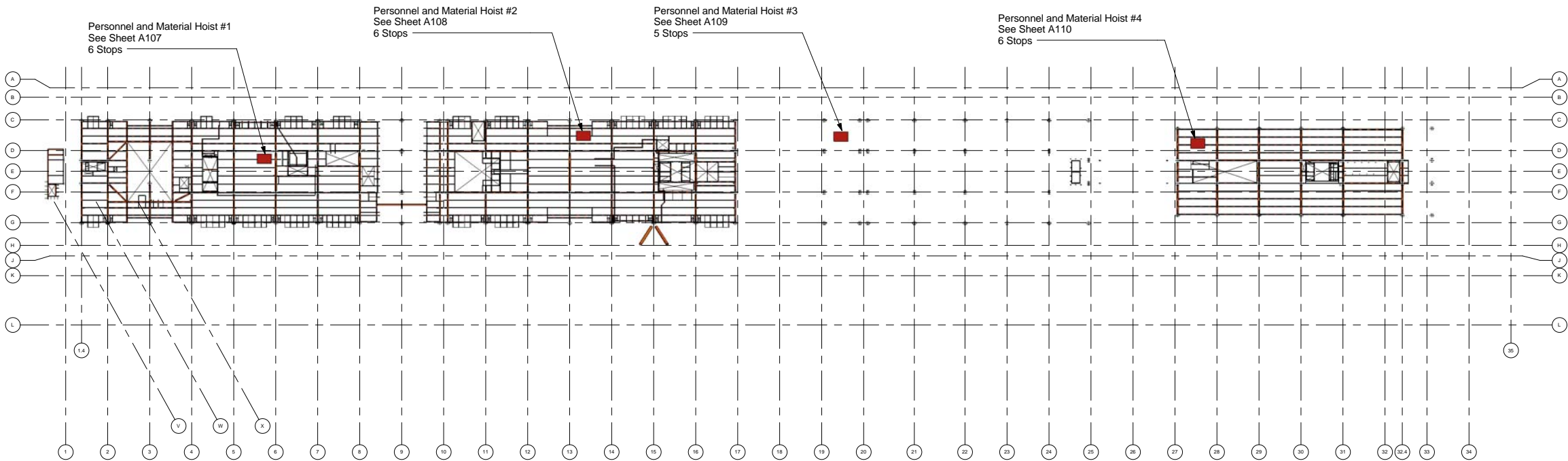
R1	12/16/2013	
R2	12/20/2013	
MARK	DATE	DESCRIPTION

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SHEET TITLE
Personnel and Material Hoist Layout - Second Level

A104

Scale AS SHOWN



① Second Level
1" = 60'-0"

NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



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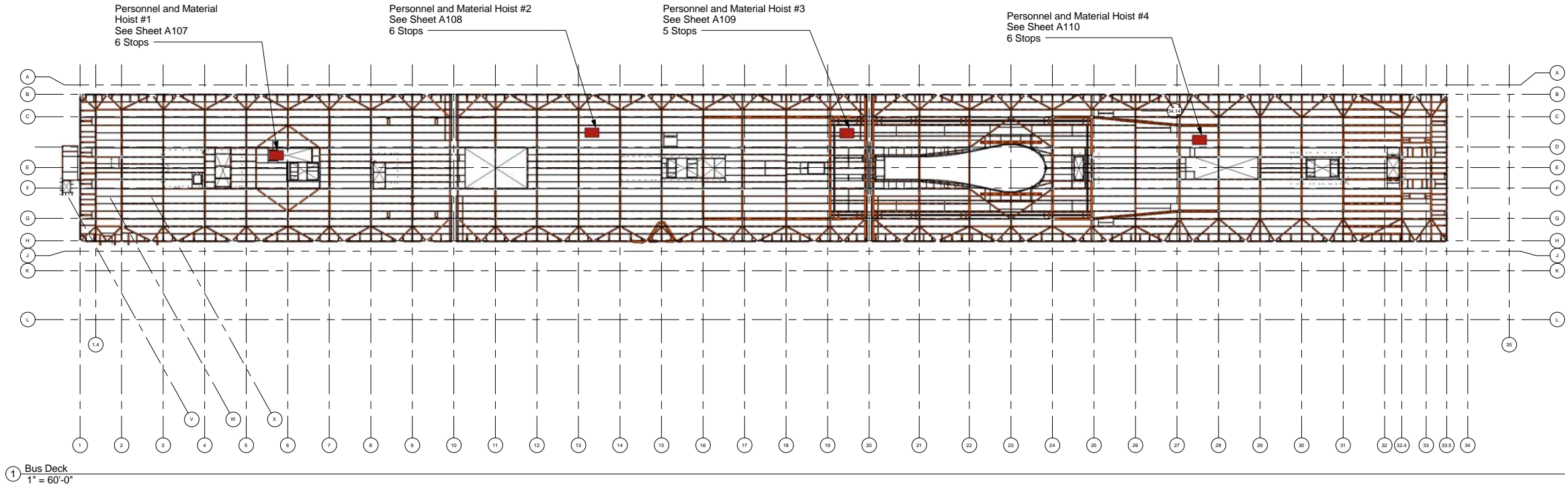
R1	12/16/2013	
R2	12/20/2013	
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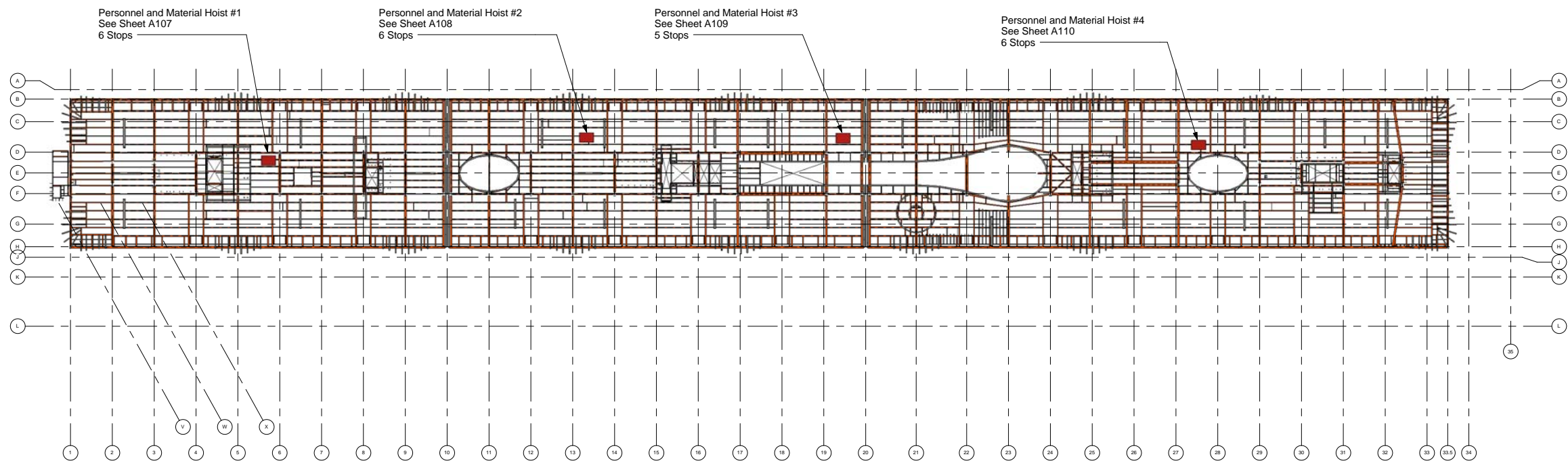
PERSONNEL AND MATERIAL HOIST LAYOUT - BUS DECK LEVEL
--

A105

Scale AS SHOWN



NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



1 Roof Level
1" = 60'-0"

NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



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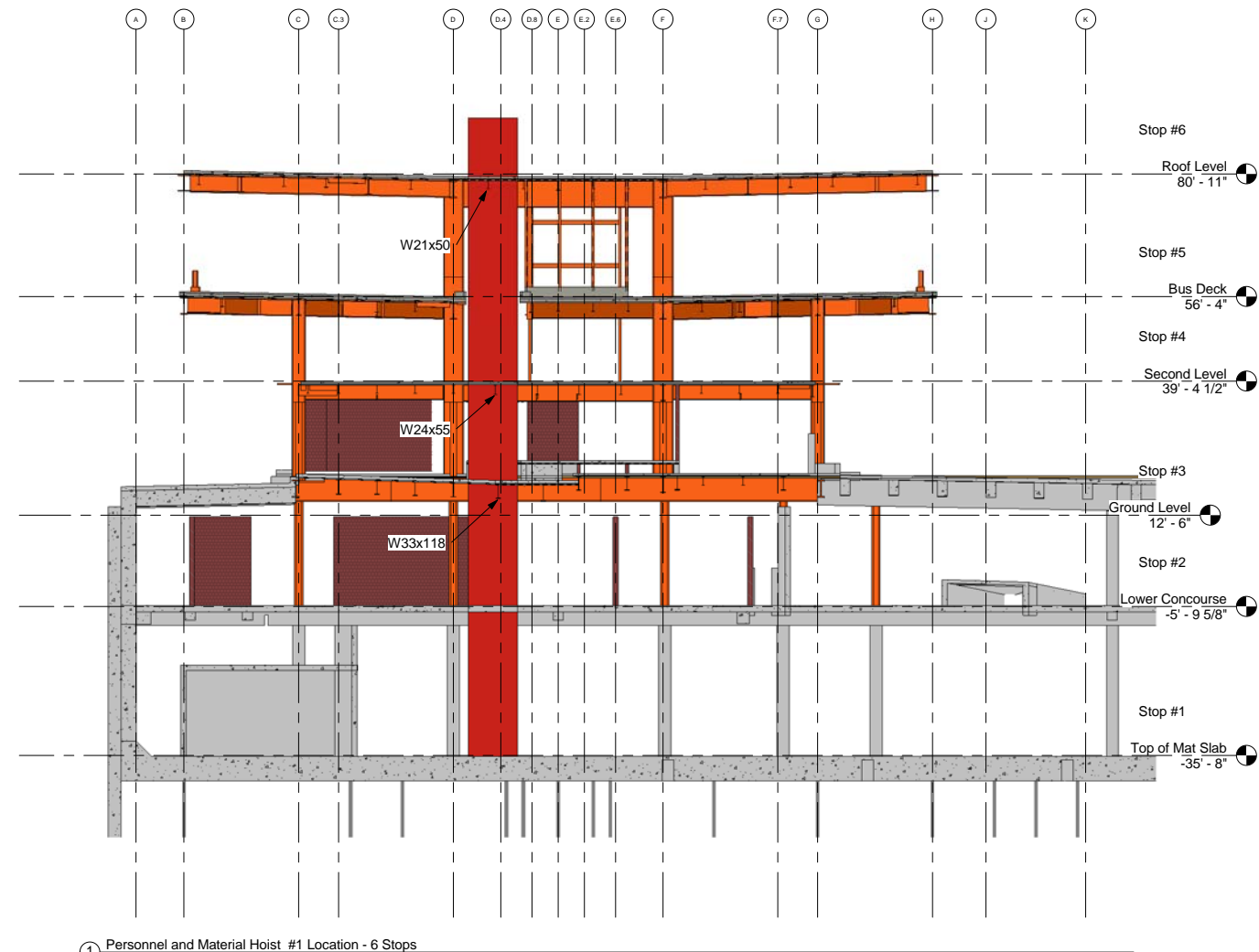
R1	12/16/2013	
R2	12/20/2013	
MARK	DATE	DESCRIPTION

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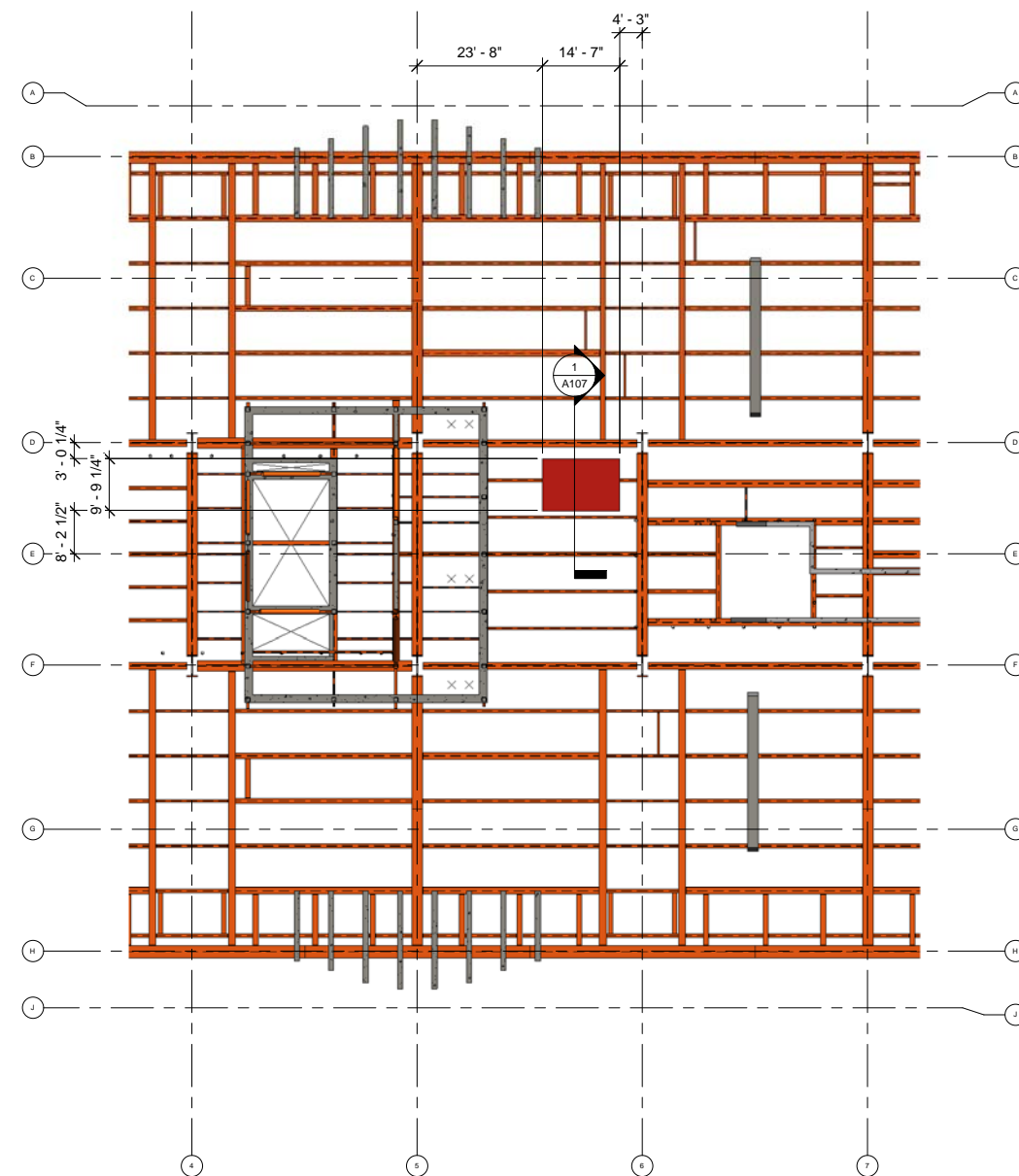
Personnel
and Material
Hoist Layout
- Roof Level

A106

Scale AS SHOWN



① Personnel and Material Hoist #1 Location - 6 Stops
1/16" = 1'-0"



② Personnel and Material Hoist #1 Detail - Roof Level
1/16" = 1'-0"

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



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SHEET TITLE
Personnel and Material Hoist #1 Location

A107

Scale	AS SHOWN
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San Francisco, CA

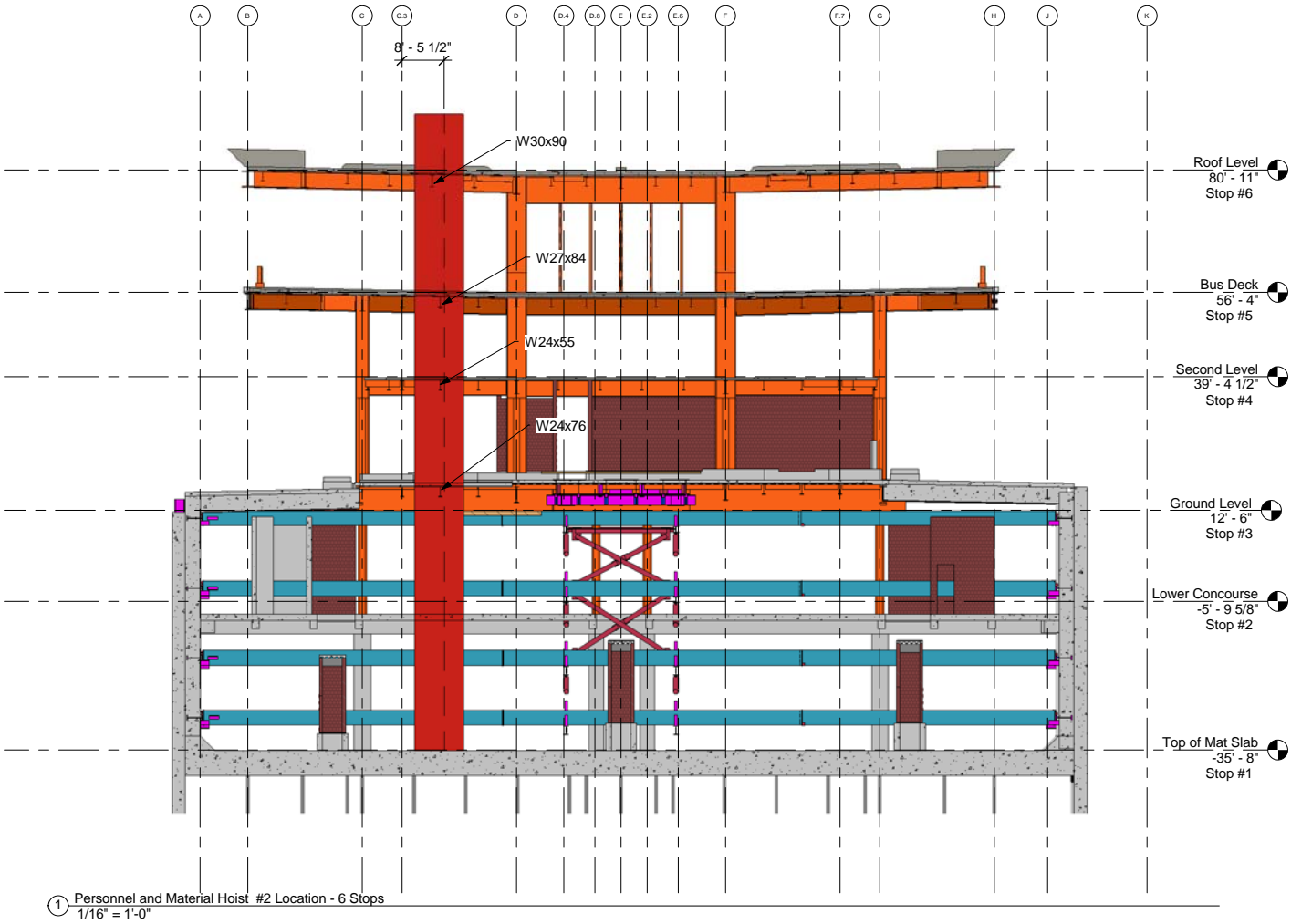
R1	12/16/2013	
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MARK	DATE	DESCRIPTION

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MODEL FILE:	X
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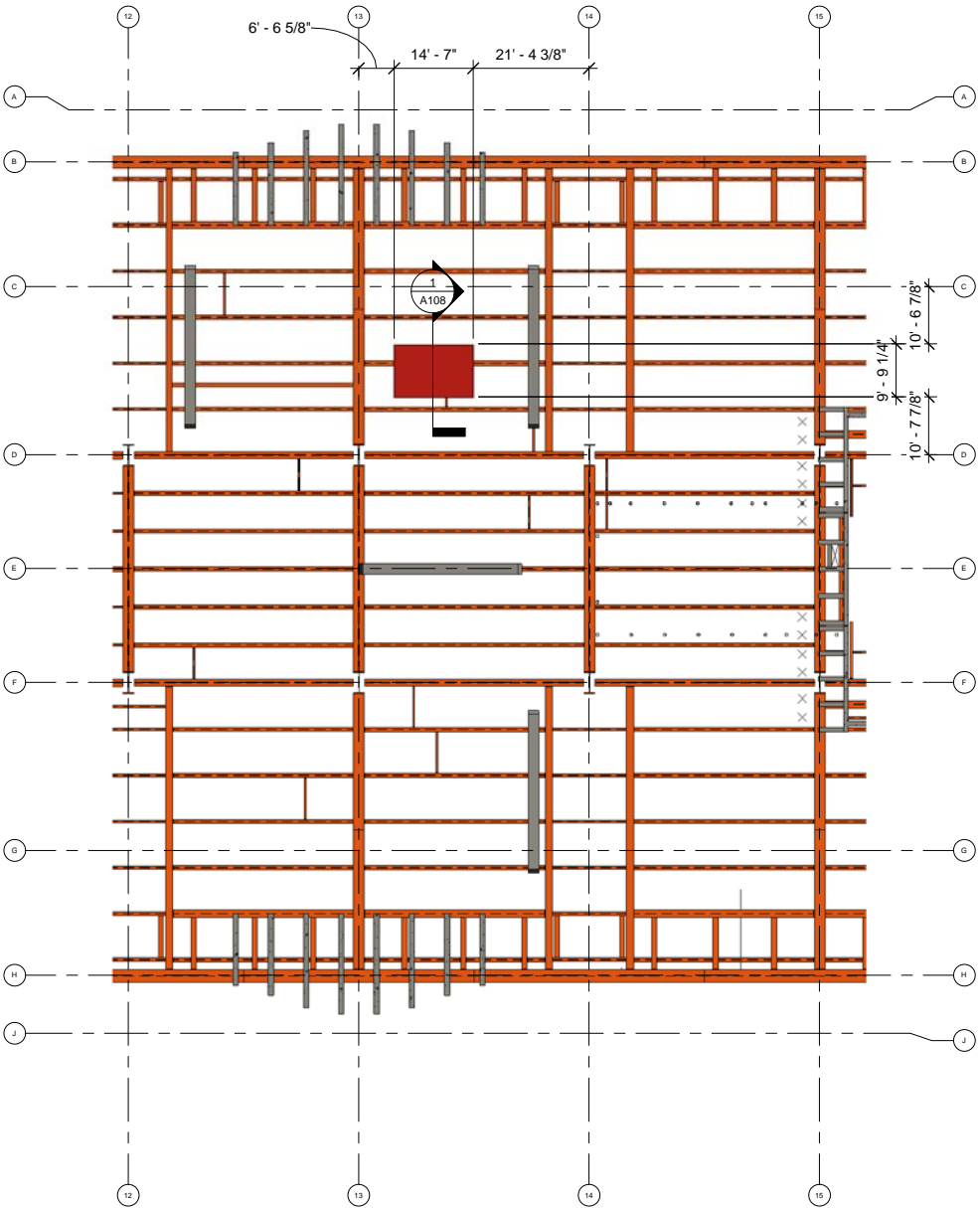
SHEET TITLE
Personnel and Material Hoist #2 Location

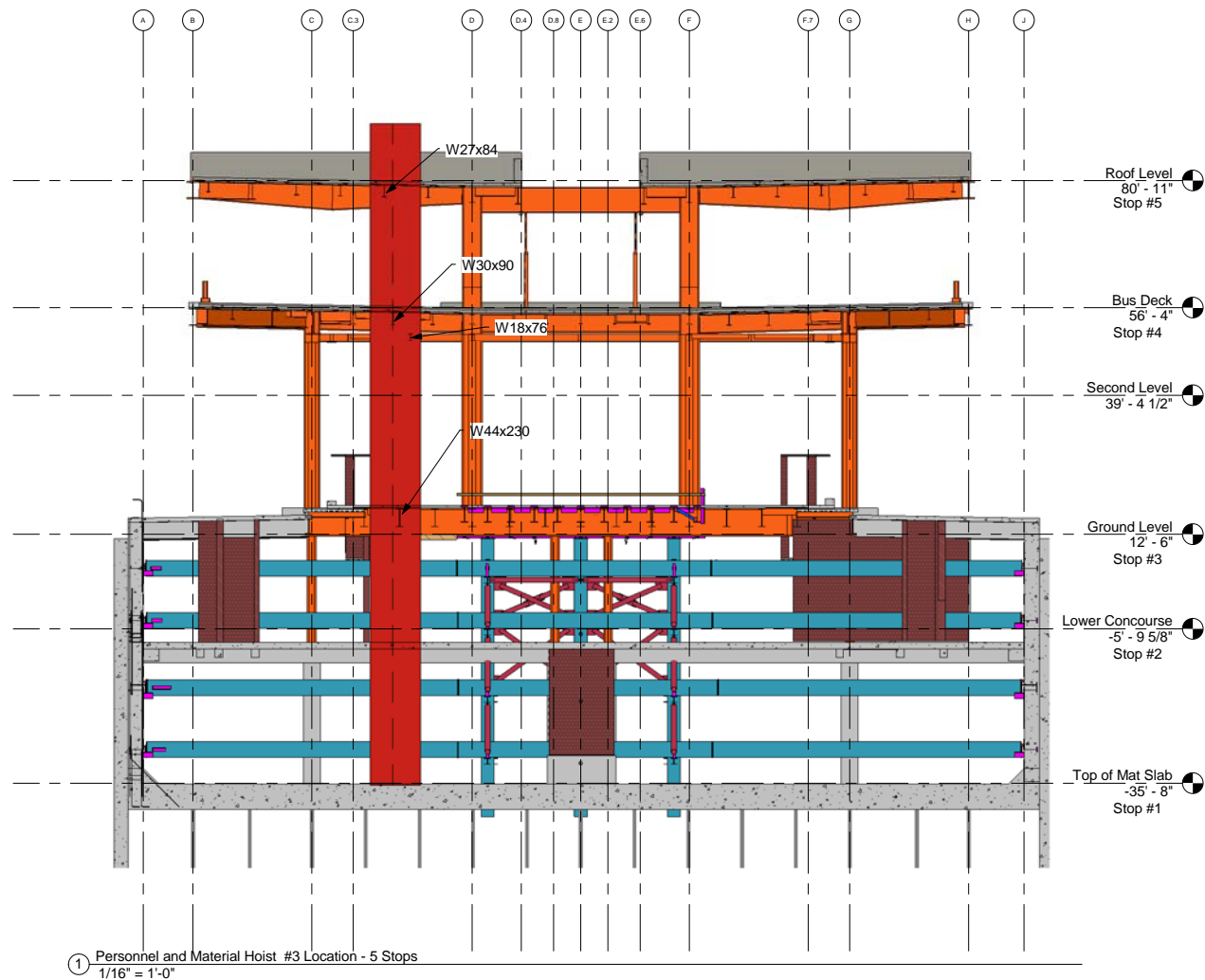
A108

Scale AS SHOWN



NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



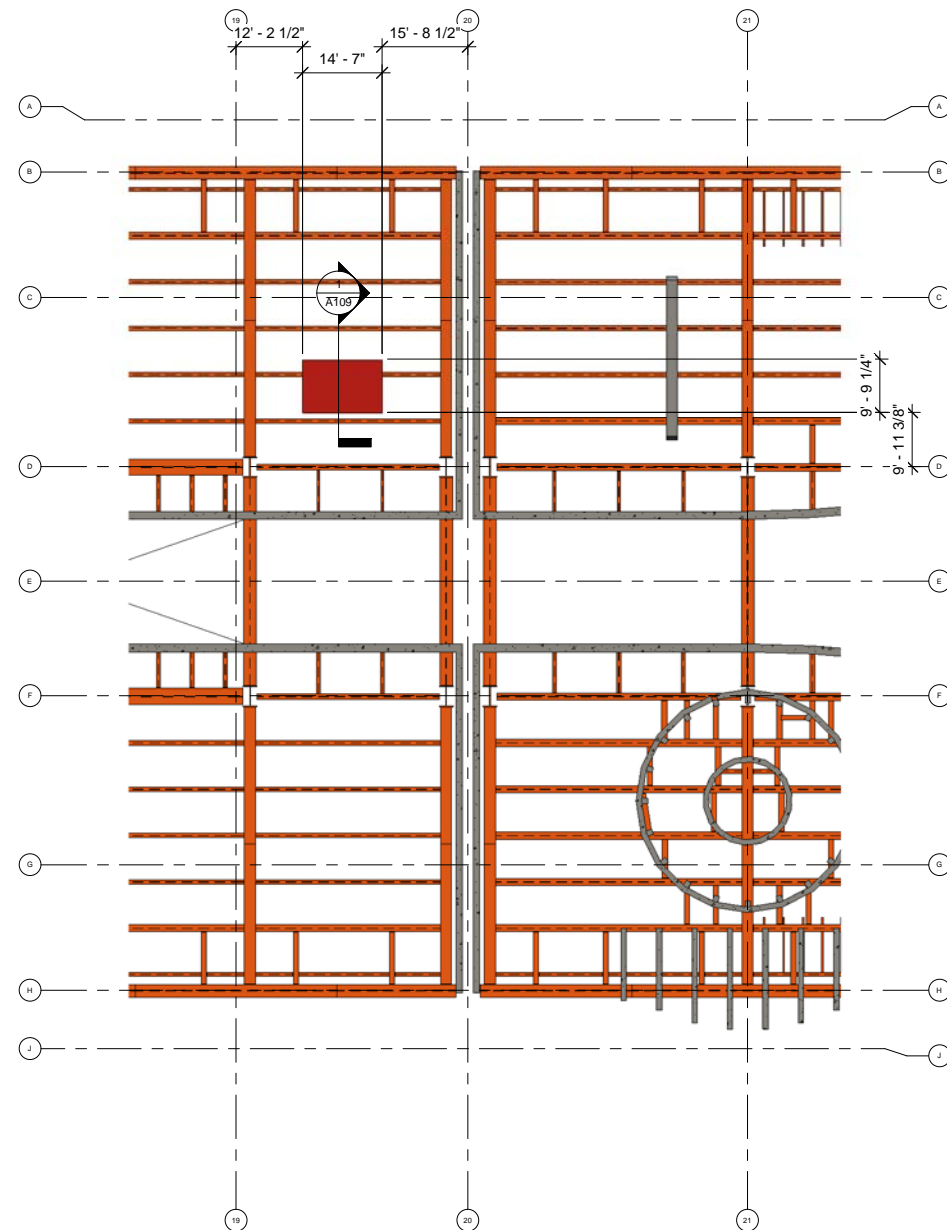


① Personnel and Material Hoist #3 Location - 5 Stops
1/16" = 1'-0"

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



② Personnel and Material Hoist #3 Detail - Roof Level
1/16" = 1'-0"



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SHEET TITLE

Personnel
and Material
Hoist #3
Location

A109

Scale AS SHOWN



175 Beale Street
San Francisco, CA

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San Francisco, CA

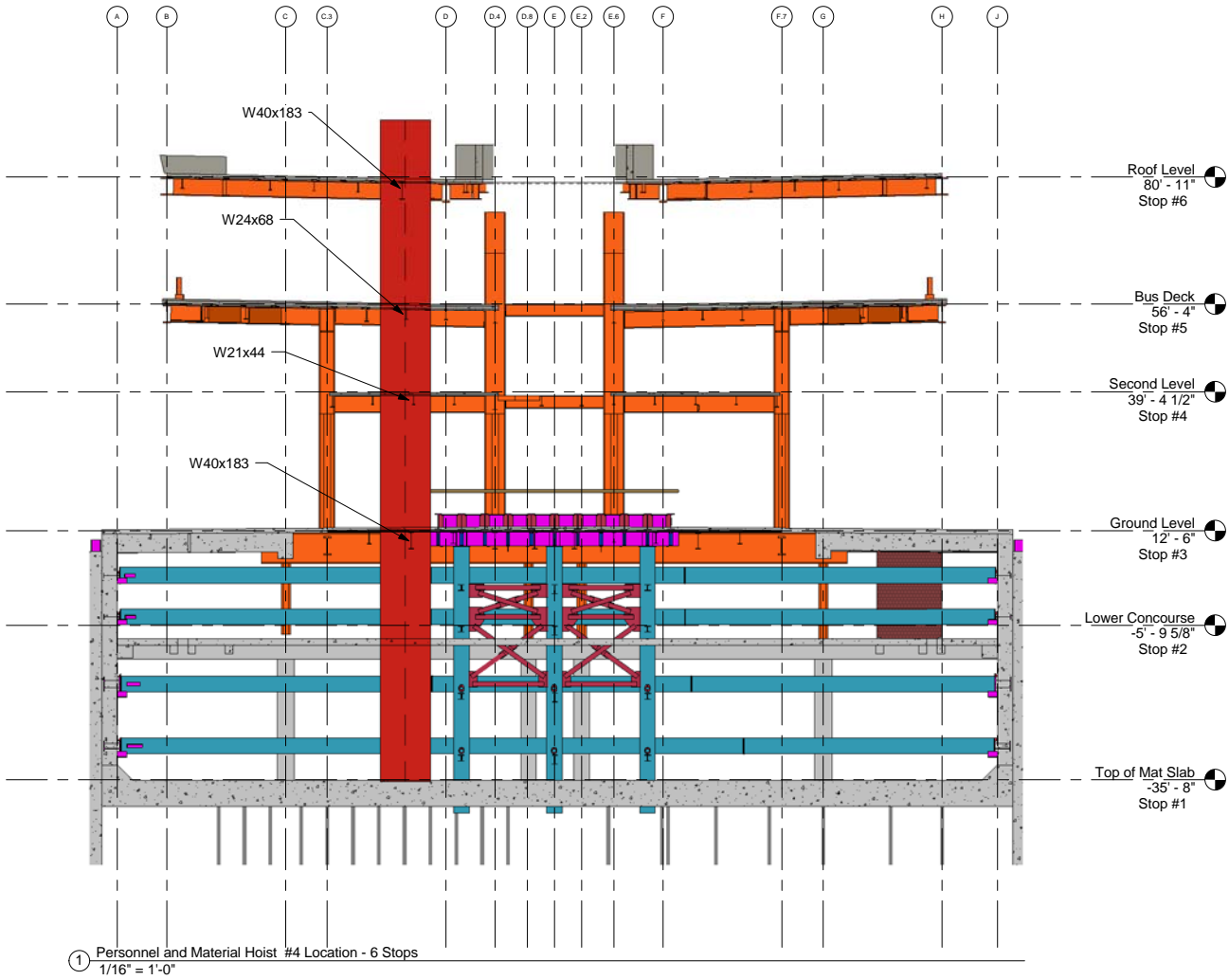
R1	12/16/2013	
R2	12/20/2013	
MARK	DATE	DESCRIPTION

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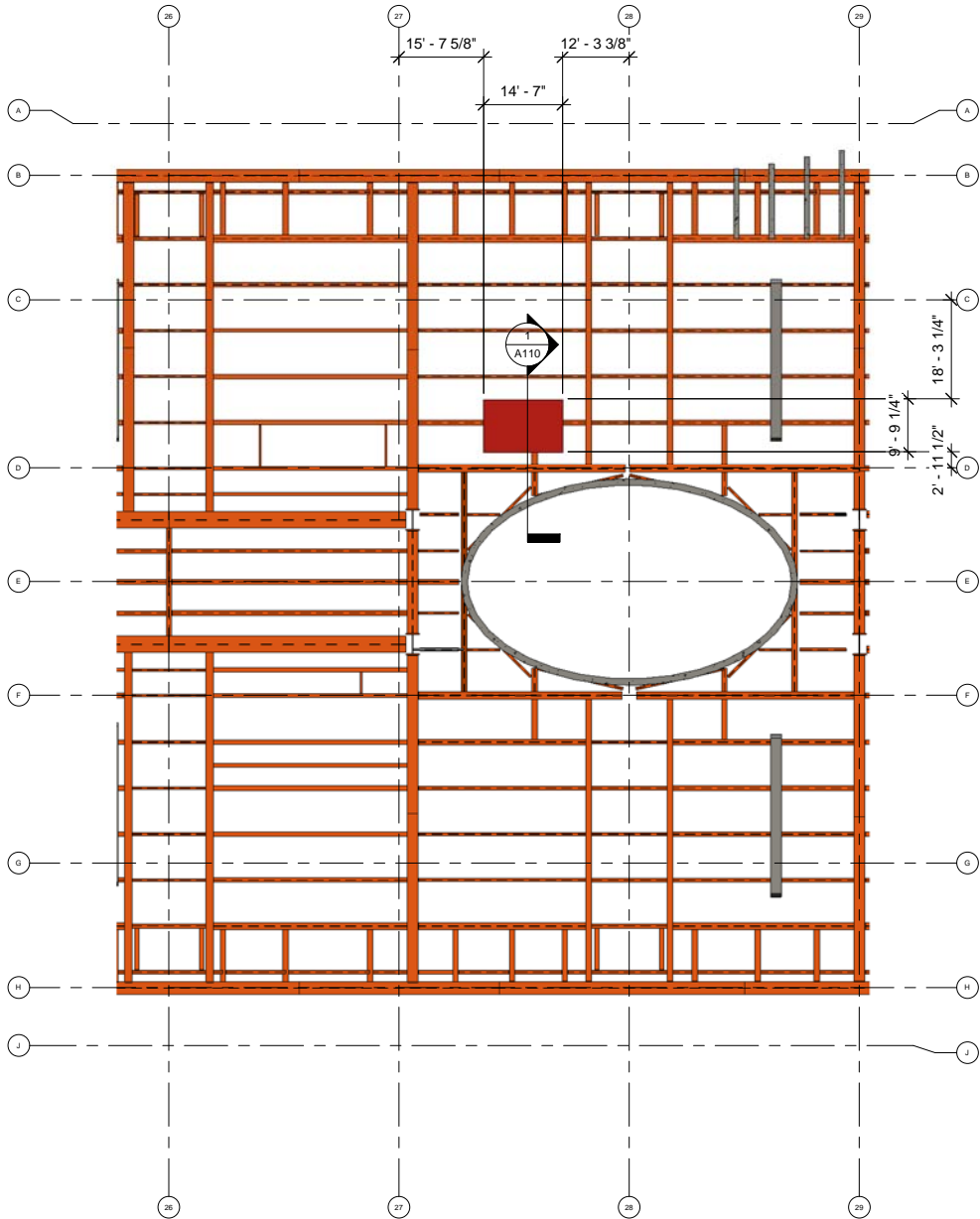
SHEET TITLE
Personnel and Material Hoist #4 Location

A110

Scale AS SHOWN

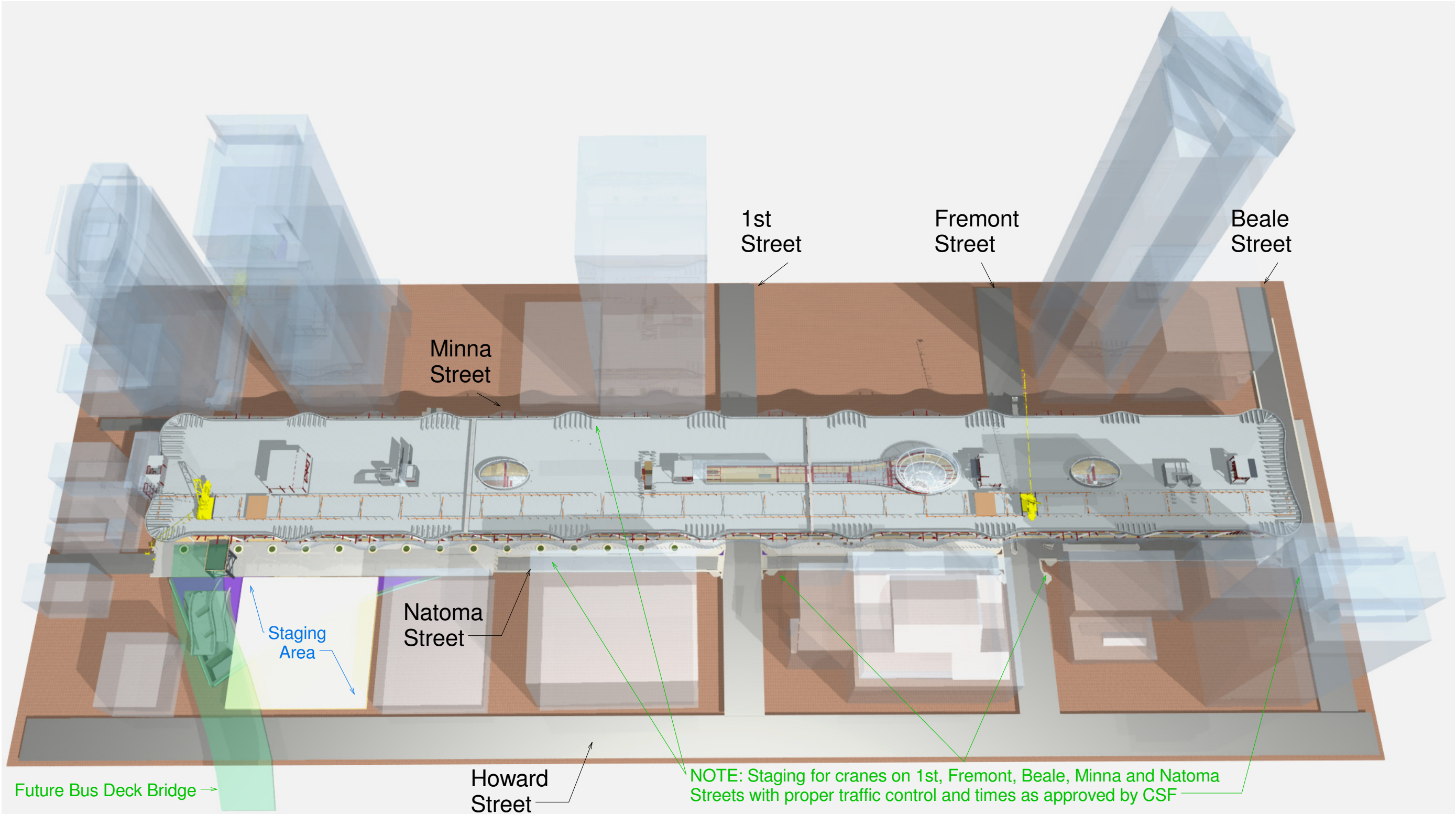


① Personnel and Material Hoist #4 Location - 6 Stops
1/16" = 1'-0"



② Personnel and Material Hoist #4 Detail - Roof Level
1/16" = 1'-0"

NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



Transbay Transit Center

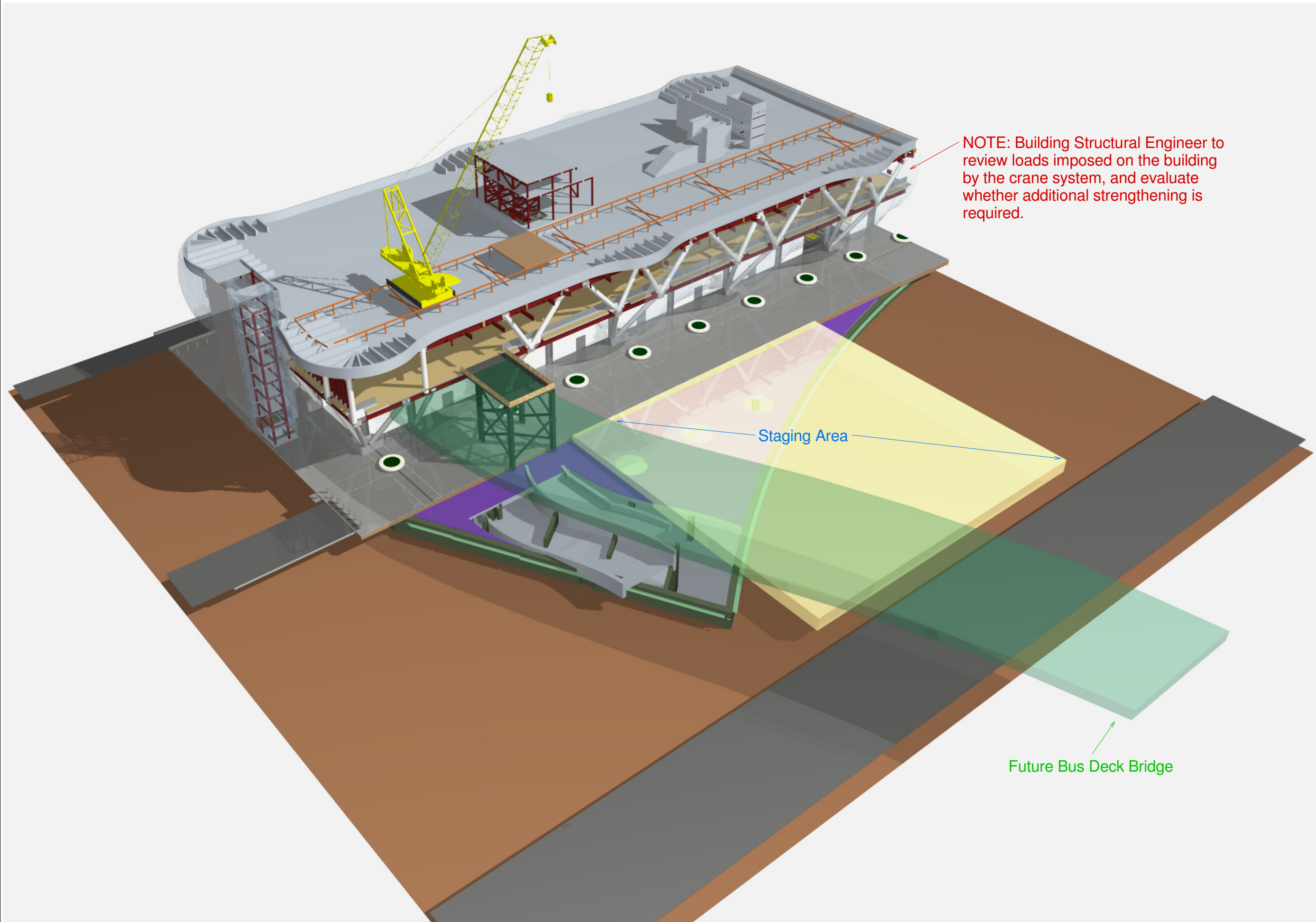
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SHEET TITLE

Logistics
Aerial View



NOTE: Building Structural Engineer to review loads imposed on the building by the crane system, and evaluate whether additional strengthening is required.

Staging Area

Future Bus Deck Bridge

Transbay Transit Center

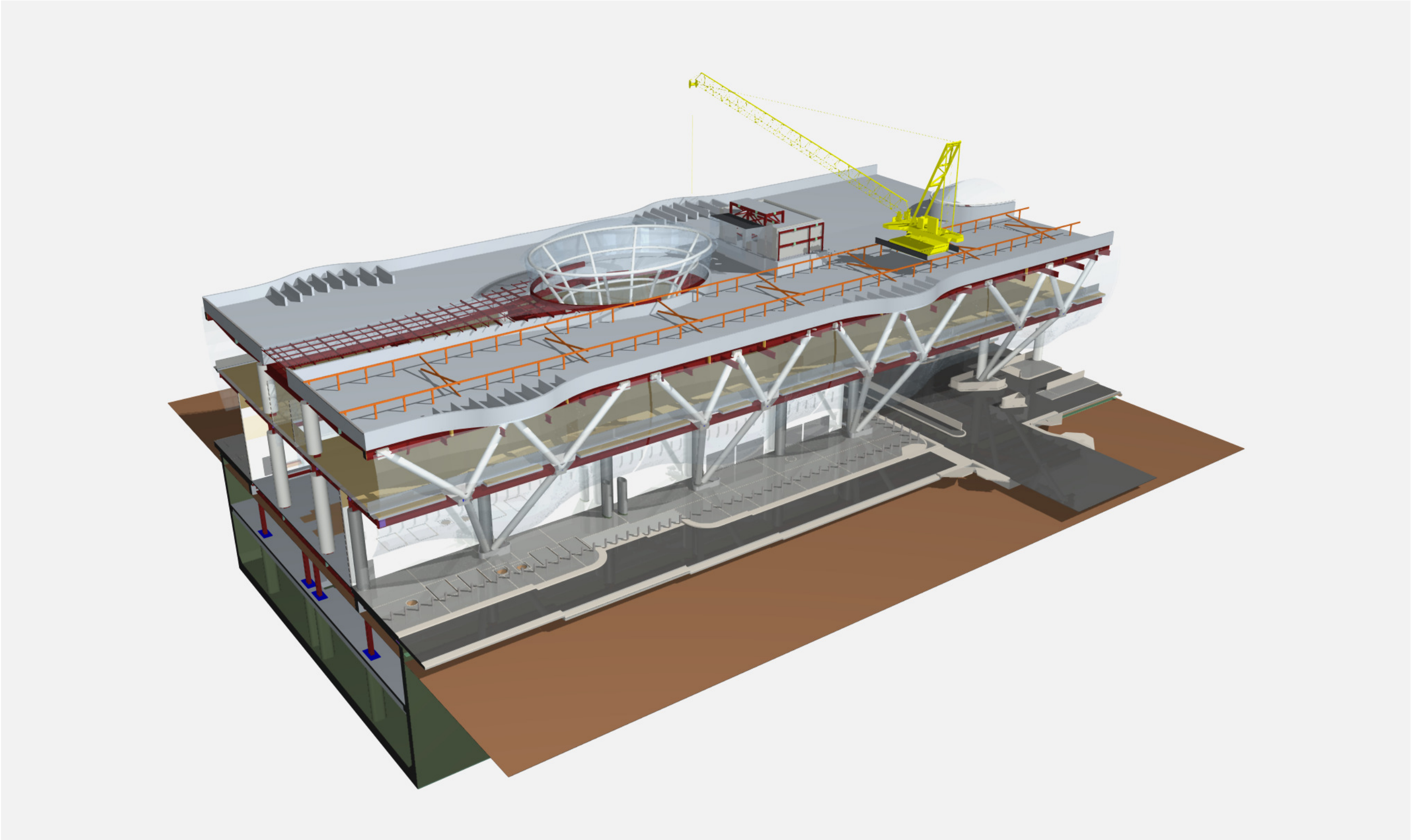
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SHEET TITLE

3D Section



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San Francisco, California 94107

Transbay Transit Center

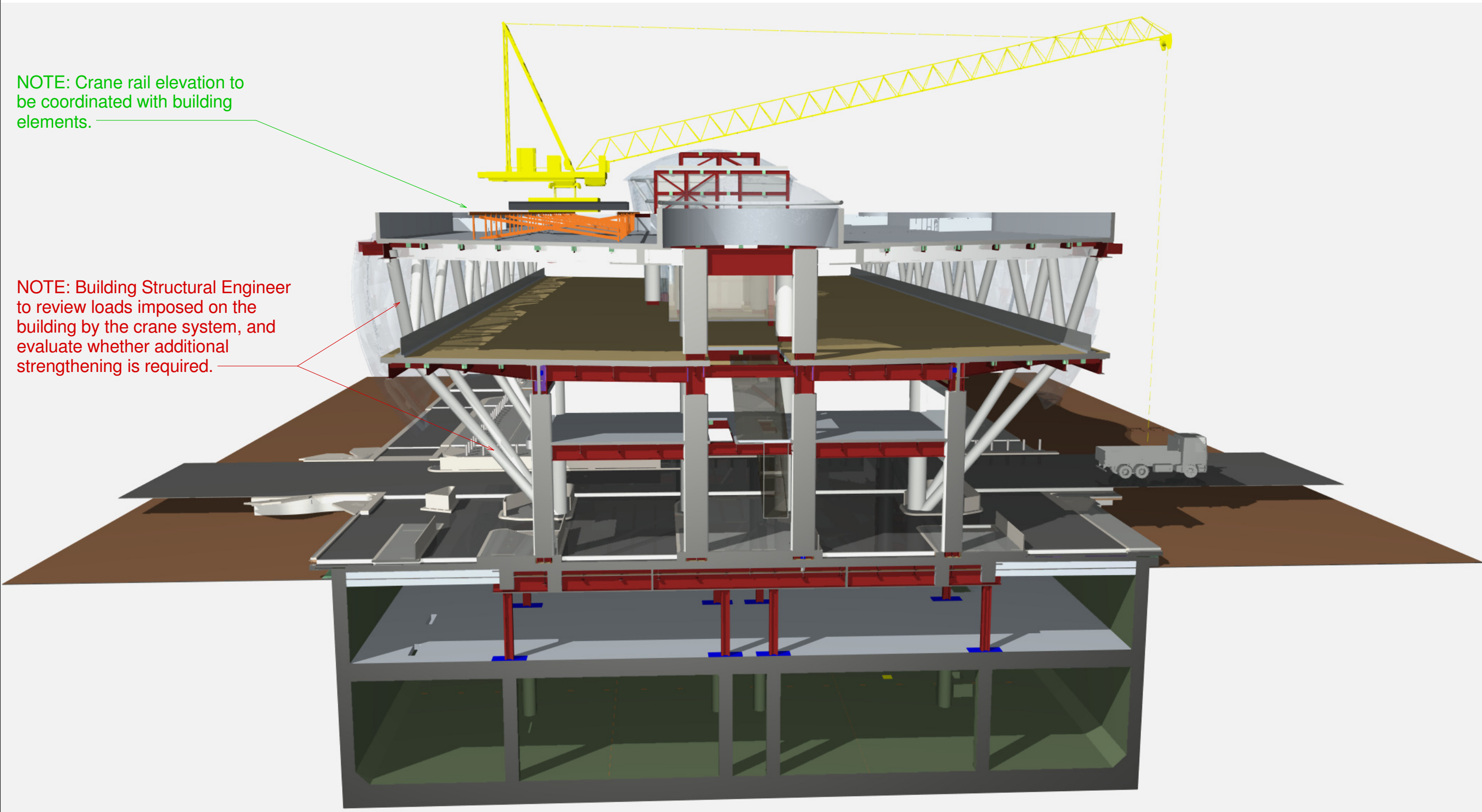
San Francisco, California

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SHEET TITLE
3D Section

X-04
Scale AS SHOWN



NOTE: Crane rail elevation to be coordinated with building elements.

NOTE: Building Structural Engineer to review loads imposed on the building by the crane system, and evaluate whether additional strengthening is required.

Transbay Transit Center

San Francisco, California

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SHEET TITLE

3D Section
West Facing

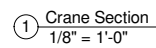


San Francisco, California

PROJECT NO:	X
MODEL FILE:	X
DRAWN BY:	Matt Zwetzig
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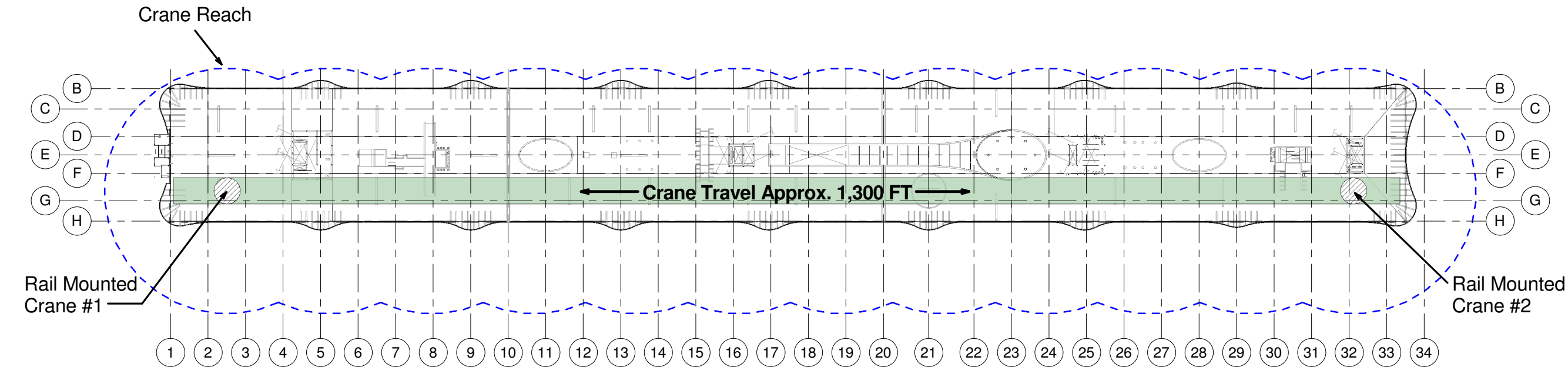
Crane Section

Scale AS SHOWN



Transbay Transit Center

San Francisco, California



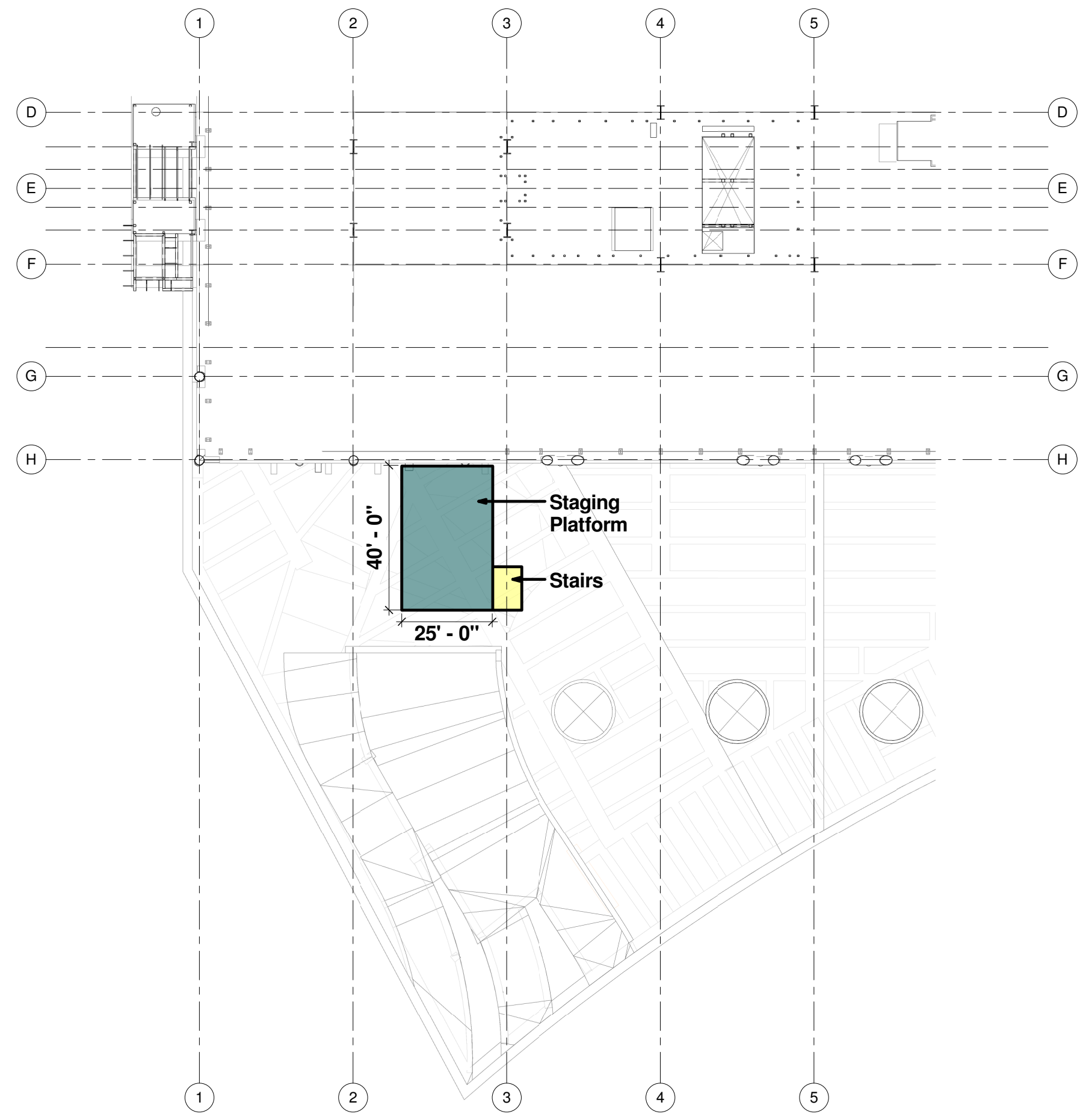
① Roof Park Level T/Steel
1/64" = 1'-0"

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SHEET TITLE
Roof Rail-Mounted Cranes

X-07
Scale AS SHOWN



① Bus Deck Level T/Steel
1/16" = 1'-0"



JOINT VENTURE

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Transbay Transit Center

San Francisco, California

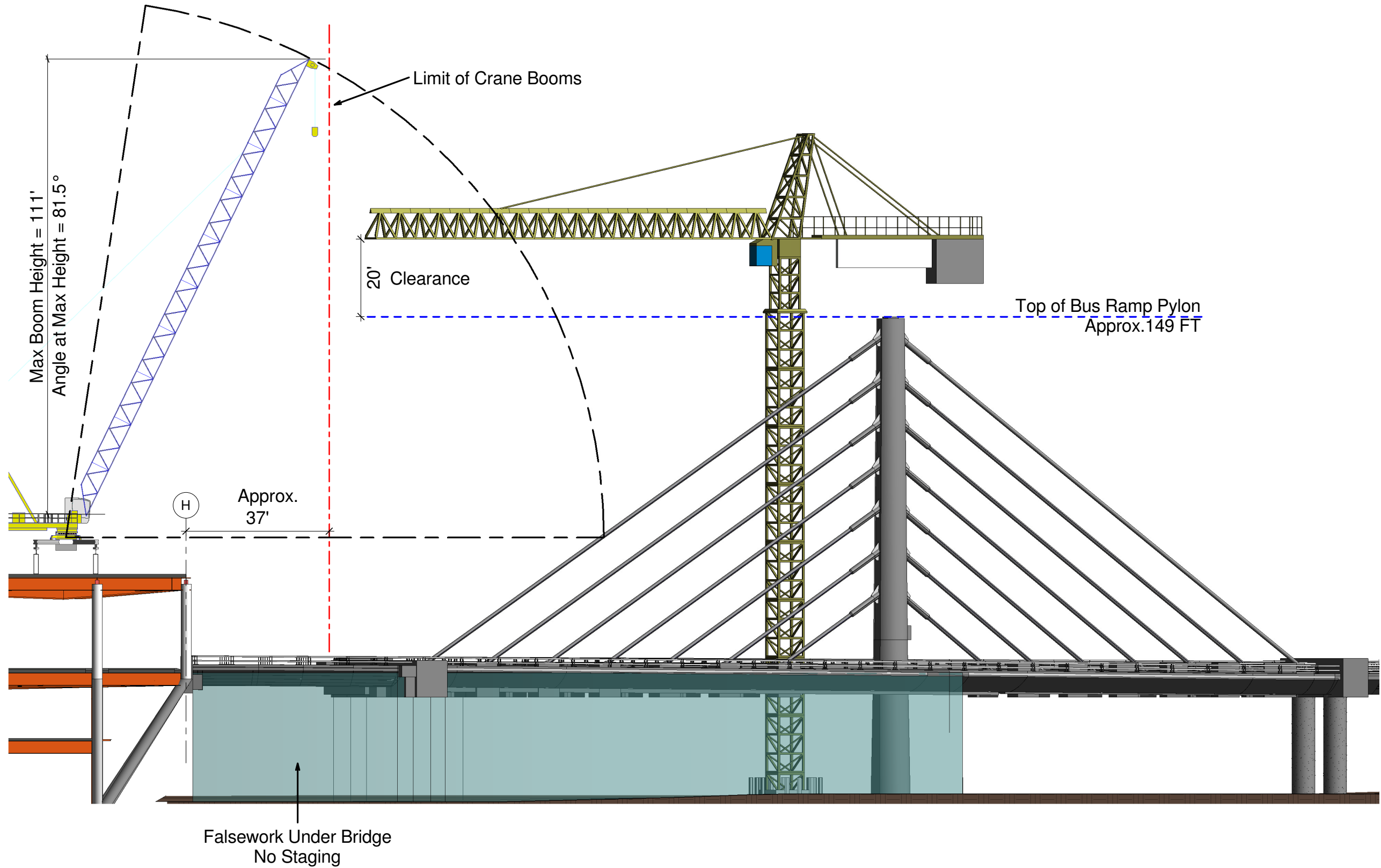
MARK	DATE	DESCRIPTION

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SHEET TITLE

Staging Platform

- Notes:
- All distances are approximate
 - Tower Crane and Rooftop Crane configuration subject to change



① Tower Crane & Bus Ramp Pylon
1 : 160

Transbay Transit Center

San Francisco, California

1	4/18/13	Bridge Logistics
2	4/23/13	Update
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Rooftop Crane and Tower Crane Logistics

Transbay Transit Center

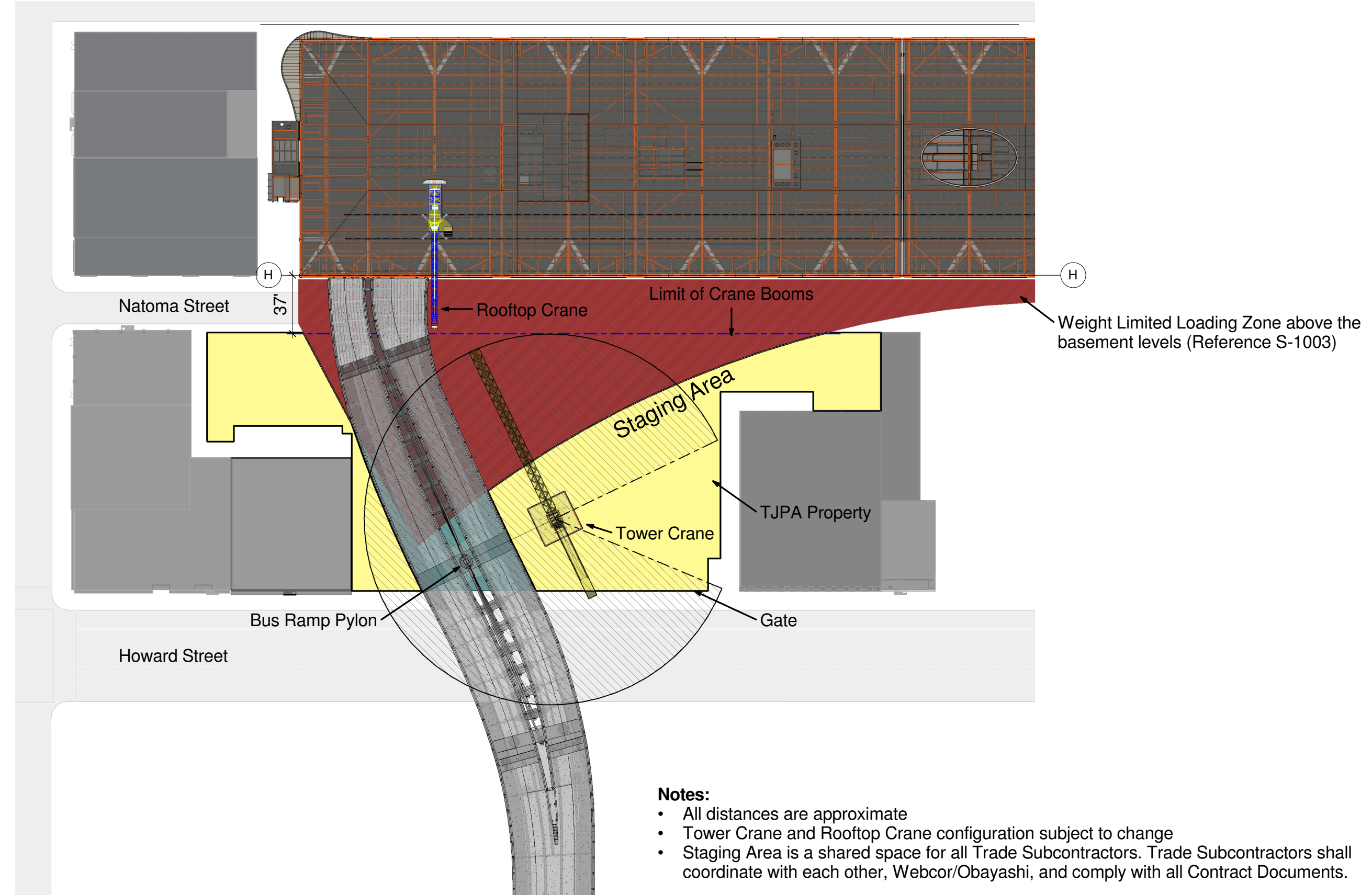
San Francisco, California

1	4/18/13	Bridge Logistics
2	4/23/13	Update
MARK	DATE	DESCRIPTION

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SHEET TITLE
Natoma - Howard St. Area Logistics

X-16





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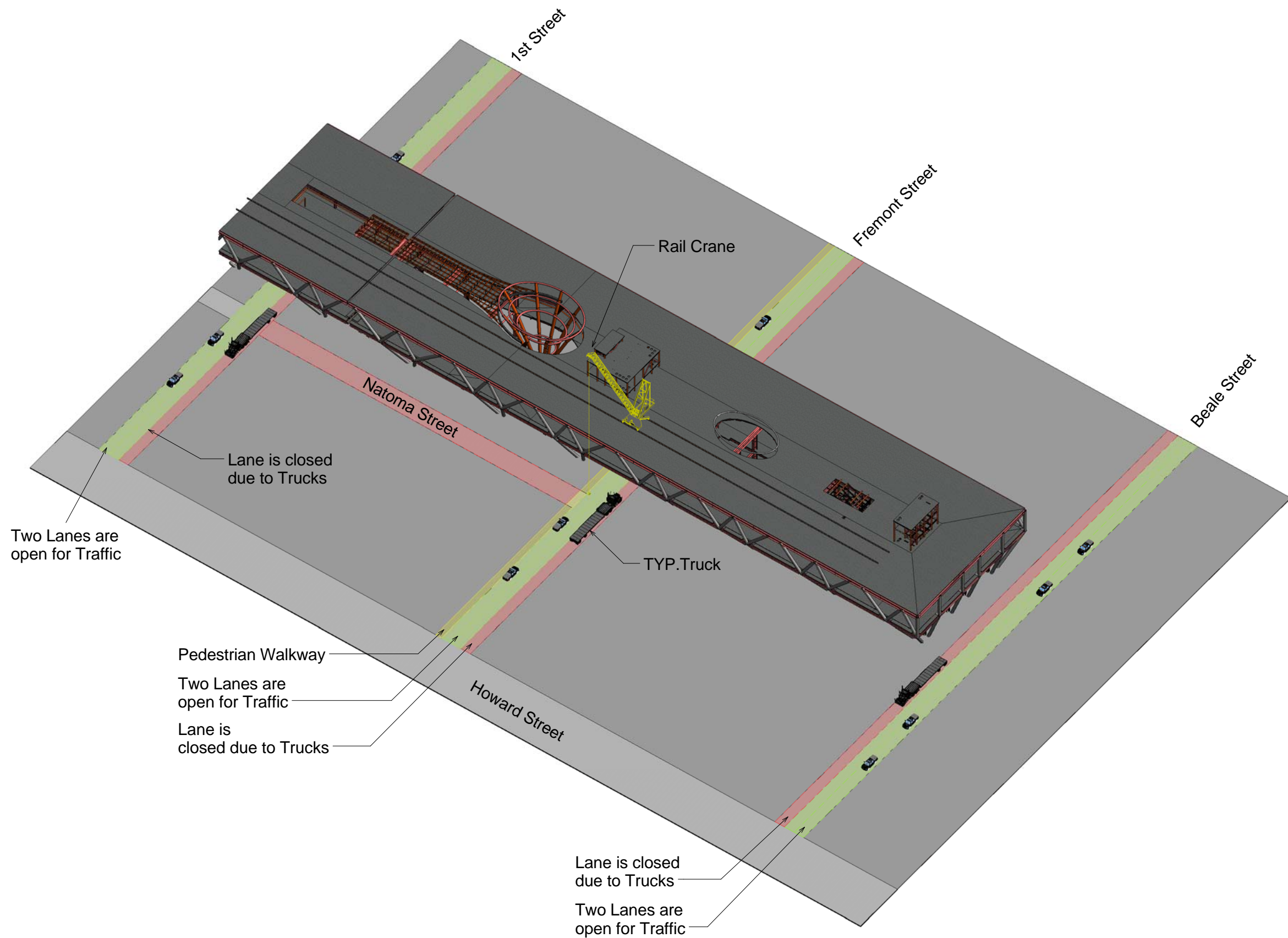
San Francisco, California

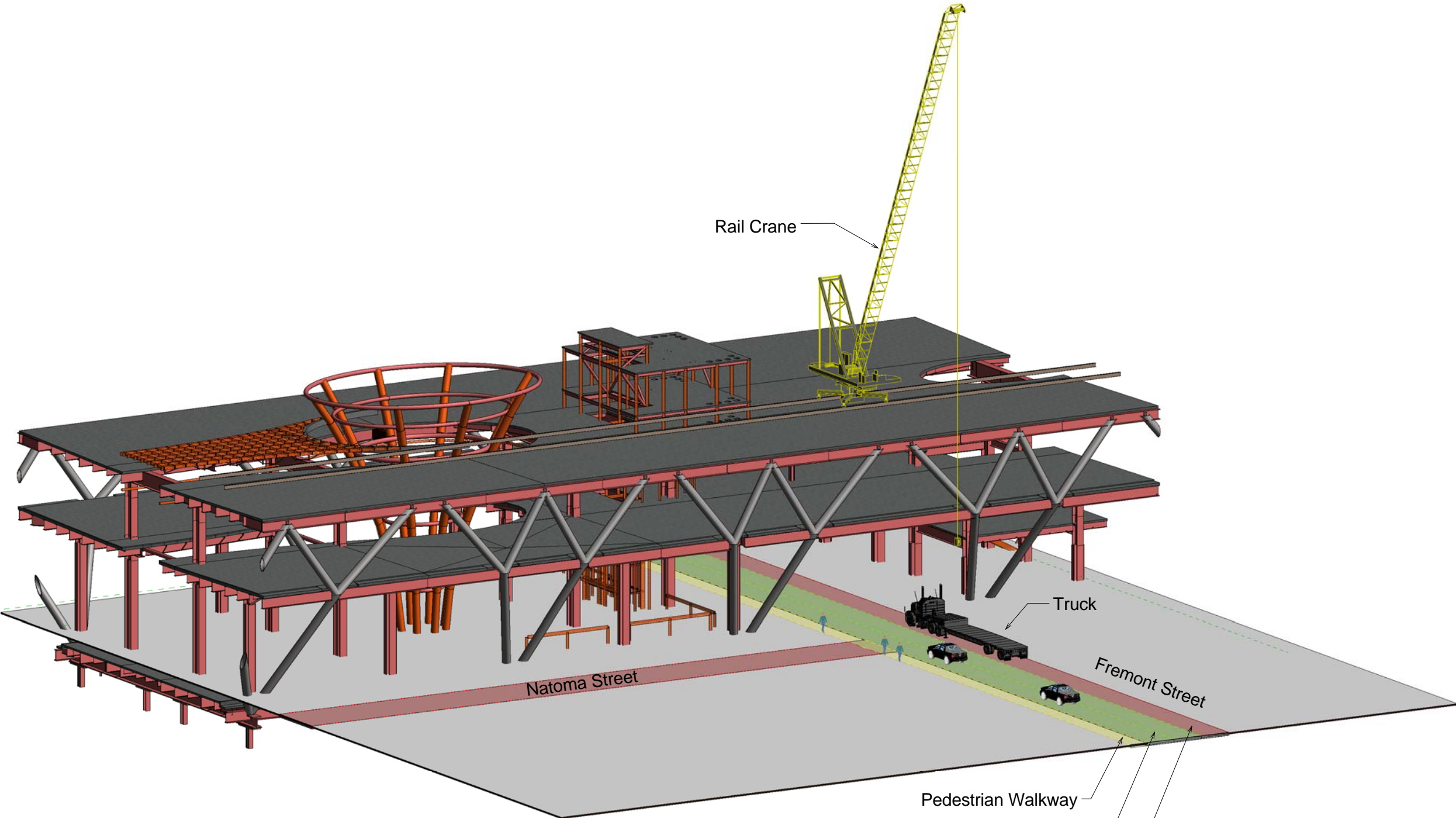
1	4/18/13	Bridge Logistics
2	4/23/13	Update
3	12/20/13	Update
MARK	DATE	DESCRIPTION

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SHEET TITLE
Rail Crane Logistics

X-17
Scale AS SHOWN





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San Francisco, California 94107

Transbay Transit Center

San Francisco, California

1	4/18/13	Bridge Logistics
2	4/23/13	Update
3	12/20/13	Update

MARK	DATE	DESCRIPTION
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SHEET TITLE

Rail Crane
Logistics 3D
Section

X-18

Scale AS SHOWN