EXHIBIT A - General Contractor Bid Package Manual and Forms – Contract #301001600

<u>E...</u> Trade Package # TG16.0 Interiors/Finishes Package Addendum #5

May 18, 2015 ... E



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### I. BIDDER QUALIFICATION PROCESS

If the Bidder is not previously qualified, the Bidder shall submit a Request for Qualification (RFQ) package no later than the date shown in the TG16.0 Package Timeline in Section II, "Key Dates for Bidding Process." The prequalified general contractors/joint ventures listed below do not need to submit an RFQ package.

#### <u>B</u>

Prequalified General contractors/Joint Ventures:

- S.J. Amoroso Construction Co., Inc.
- Skanska USA Building Inc.
- Swinerton Builders
- West Bay Builders

B

Notification of the qualification will be provided to the Bidder by the date shown in the TG16.0 Package Timeline. Bids submitted by non-qualified Bidders will not be accepted or opened. Non-qualified Bidders assume all risk and costs associated with submitting a bid if they are deemed not qualified.

General contractors submitting an RFQ package during the bid period must use the "Request for Qualifications (RFQ) TG16.0: Interiors/Finishes" form available on the TJPA website (http://transbaycenter.org/rfp/interiorsfinishes).

<u>No Conflict of Interest</u>: Webcor/Obayashi Joint Venture and the TJPA shall disqualify any Bidder that has a conflict of interest under Section C8.105 of the San Francisco Charter, Government Code Section 1090 *et. seq.*, the Political Reform Act (Government Code Section 87100 *et. seq.*), or any other applicable conflict of interest laws. Any false, incomplete, or otherwise unresponsive statements made in connection with a proposal may be cause for its disqualification at Webcor/Obayashi Joint Venture and the TJPA's sole discretion.

#### END OF BIDDER QUALIFICATION PROCESS

#### II. KEY DATES FOR BIDDING PROCESS

Each Bidder shall submit its "Bid Form," "Schedule of Bid Prices," and other applicable sections and forms in the Specifications and the Project Bidding Manual. Required submittal documents for the bid are listed in the Bidding Checklist (BCL) in the Project Bidding Manual.

**Package Issuance:** The Bid Package, except the drawings and specifications, will be available for download from the TJPA website <u>http://transbaycenter.org/tjpa/doing-business-with-the-tjpa</u> or by contacting Webcor/Obayashi Joint Venture by e-mail at TransbayBidding\_TG16.0@webcor-obayashi.com. Information regarding how to obtain the drawings and specifications will be posted on the TJPA website with the IFB package on the Bid Package Issuance date.

**<u>Pre-Bid Conference</u>**: A pre-bid conference and job walk for General Contractors interested in submitting bids will be held at the time and date shown in the TG16.0 Package Timeline below, in Conference Room Charlie at the Webcor/Obayashi Joint Venture Office at 175 Beale Street, San Francisco, California 94105. Attendance is optional, but highly encouraged.

**Questions/Clarifications:** Questions or requests for clarifications regarding the Bid Package <u>must be</u> submitted in writing to Webcor/Obayashi Joint Venture no later than the time on the date shown in the TG16.0 Package Timeline below. Questions on Bid Documents (QBD) form in the Project Bidding Manual shall be used for questions or requests for clarifications. Refer to "Communication with Webcor/Obayashi Joint Venture" for contact information.

Value Engineering (VE) Proposals: Each Bidder may submit Value Engineering (VE) Proposals as deductive alternates to their Bid to the TJPA offices at 201 Mission Street, Suite 2100, San Francisco, CA, 94105 by the time and date shown in the TG16.0 Package Timeline below. The VE Proposals shall consist of two parts, technical and cost, and must be submitted in a sealed envelope. No proposals will be accepted after the due date and time. Refer to Specification Section 00 04 20 for details. The VE Proposal submissions must be signed under penalty of perjury in the manner designated at the end of the form, by an individual who has the legal authority to bind the Bidder on whose behalf that person is signing. If any information provided by a Bidder becomes inaccurate, Bidder must immediately notify Webcor/Obayashi Joint Venture and provide updated accurate information in writing, under penalty of perjury.

**Bid Submittal:** Each Bidder shall submit sealed bids to the TJPA offices at 201 Mission Street, Suite 2100, San Francisco, CA, 94105 by the time and date shown in the TG16.0 Package Timeline below. No bids will be accepted after the due date and time. Bid submissions must be signed under penalty of perjury in the manner designated at the end of the form, by an individual who has the legal authority to bind Bidder on whose behalf that person is signing. If any information provided by a Bidder becomes inaccurate, Bidder must immediately notify Webcor/Obayashi Joint Venture and provide updated accurate information in writing, under penalty of perjury.

<u>Sensitive Security Information/Protected Critical Infrastructure Information</u>: Contract Documents and reference documents for the Transbay Transit Center Project may contain protected information pertaining to sensitive, financial, commercial, or proprietary business information and/or the security of the Project. Such protected information is classified as Confidential Information, Sensitive Security Information (SSI), or Protected Critical Infrastructure Information (PCII). Bidders and TG16.0 General Contractors shall follow the procedures for the safeguarding of protected information specified in Specification Section 01 35 70, Document Control Procedure for Protected Information.

<u>*E*...</u> Exhibit A – TG16.0 Revised & Reissued for Addendum #5 - 3 -May 18, 2015 ...*E*  If it is necessary to discuss Confidential Information, SSI or PCII during the Pre-Bid Conference for this Trade Package, all attendees will be required to have been granted conditional access to the associated documents. In order to be granted conditional access, all attendees must have submitted a signed Non-Disclosure Agreement (NDA) to the TJPA, and been approved prior to the Pre-Bid Conference.

**Financial Responsibility:** Webcor/Obayashi Joint Venture and the TJPA accept no financial responsibility for any costs incurred by a firm in responding to this Bid Package. Submissions to Webcor/Obayashi Joint Venture will become the property of the TJPA and may be used by the TJPA in any way deemed appropriate.

**No Waiver:** No waiver by Webcor/Obayashi Joint Venture and the TJPA of any provision of this Bid Package shall be implied from any failure by Webcor/Obayashi Joint Venture and the TJPA to recognize or take action on account of any failure by a Bidder to observe any provision of this Bid Package.

<u>No Representations or Warranties</u>: The information presented in this Bid Package and in any report or other information provided by Webcor/Obayashi Joint Venture and the TJPA to Bidders is provided solely for their convenience. It is the sole responsibility of Bidders to assure themselves that the information contained in this Bid Package and other documents are accurate and complete. No representations, assurances or warranties pertaining to the accuracy of such information are or will be provided by the TJPA or its advisors.

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Package Timeline:	
Bid Package Issued:	February 12, 2015
Pre-Bid Conference:	March 5, 2015 (2:00 p.m.)
Qualifications Due (for non-prequalified):	March 5, 2015 (2:00 p.m.)
Notification of Qualification (for non-prequalified):	March 12, 2015
Questions/Clarifications (QBD) Due:	April 30, 2015 (2:00 p.m.)
Pre-bid Request for Substitution Due:	April 30, 2015 (2:00 p.m.)
Value Engineering (VE) Proposals Due:	May 7, 2015 (2:00 p.m.)
VE Proposals Review:	May 7, 2015 – May 21, 2015
Bids Due:	May 21, 2015 (2:00 p.m.)
Public Bid Opening:	May 21, 2015 (2:00 p.m.)
Protest Period Ends:	May 29, 2015 (5:00 p.m.)
Notification of Intention to Award Contract:	June 2015
TJPA Board Vote to Approve the Contract Award:	June <del>11</del> 19, 2015

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#### END OF KEY DATES FOR BIDDING PROCESS

#### III. COMMUNICATION WITH WEBCOR/OBAYASHI JOINT VENTURE

At no time during the bid process (defined as the time between issuance of this IFB until issuance of the Notice of Intent to Award Contract) shall Bidders contact any person(s) or staff of the TJPA, TJPA Program Management/Program Controls (PMPC) team, Webcor/Obayashi Joint Venture, CM Oversight (CMO), or other TJPA Consultants regarding this IFB. The only contact is for submission of questions using the contact directions below.

Submit questions using the Question on Bid Documents (QBD) form through Webcor/Obayashi Joint Venture. See the Project Bidding Manual for QBD form.

E-mail the completed QBD form to Webcor/Obayashi Joint Venture at TransbayBidding\_TG16.0@webcor-obayashi.com.

#### END OF COMMUNICATION WITH WEBCOR/OBAYASHI JOINT VENTURE

### IV. SCOPE OF THE PACKAGE AND BID ITEM INFORMATION

#### TG16.0 Interiors/Finishes:

#### 1. Package Scope Summary

The scope of work for the TG16.0 Interiors/Finishes is described in the Contract Documents. Scope of work includes all labor, materials, equipment, tools, transportation, disposal fees, incidentals and any other costs/fees necessary to complete the work in accordance with the Contract Documents. All necessary work from mobilization to handover to the next Trade Subcontractor shall be included in the Bid.

The major items of work for this Trade Package will consist of the following elements:

- Concrete Masonry Units
- Metal Framing
- Drywall
- Building Insulation
- Clay Panel Cladding
- Penetration Firestopping
- Toilet Accessories
- Miscellaneous Metals for Own Work
- Bird Deterrent
- Ballistic Resistant Panels
- Acoustic Ceiling Tiles
- Acoustic Wall Treatments
- Tile
- Tile Carpeting
- Resilient Base

- Painting
- Site Paints
- High Performance Coatings
- Doors
- Frames
- Hardware
- Low Voltage wiring for Own Scope of Work
- Interior Architectural Woodwork
- Countertops
- Prefabricated Buildings
- Photo-Luminescent Exit Accessories (PLEA)
- Final Cleaning

The Estimated Value of this Trade Package is approximately \$19.8 million.

This General Contractor is required to review the Contract Documents and be familiar with existing Site Conditions in accordance with all requirements set forth in the Prime Contract with respect to its scope of work (see Specification Section 00 07 00 – General Conditions, Article 3.03). This shall include, without limitation, the obligation to carefully review the appropriate portions of the Contract Documents a minimum of 35 days in advance of the work to be executed for the express purpose of checking for any manifest errors, omissions, discrepancies or ambiguities and notifying Webcor/Obayashi Joint Venture in writing promptly within this time period upon discovery of errors, omissions, discrepancies or ambiguities so that Webcor/Obayashi Joint Venture can properly notify the TJPA within the time period prescribed in Specification Section 00 07 00 – General Conditions, Article 3.03.C.

In addition, if this General Contractor performs work that it knows, or reasonably should have known, to be contrary to the Building Code or other applicable laws, statutes, ordinances, rules and regulations without written notice to Webcor/Obayashi Joint Venture, this General Contractor shall assume responsibility for such work and shall bear all costs of correction (see Specification Section 00 07 00 – General Conditions, Article 3.08.E).

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### 2. General Work

The following items for this package are discussed in detail in the Project Bidding Manual. Additional requirements and/or clarifications that are specific to the current Trade Package are included below and align, as indicated, with the corresponding section of the Project Bidding Manual.

III. Instructions to Bidders

- E. Additional Bidding Notes
  - 2. Exclusions/Clarifications/Qualifications
    - a) See "Interiors/Finishes Package Scope of Work" below.

IV. Trade Subcontractor Requirements

- A. General Information Supplemental Instructions
  - 9. Embedded Items
    - g) Receive, hoist, store, move into place, and install all embeds of other trades to be installed within CMU and concrete installed by this Trade Package.
    - h) TG07.2 Structural Concrete and TG07.6 Topping Slabs, Bus Crash Rail, and Expansion Joints shall coordinate, receive, accept, inventory, manage, hoist and install all embeds and anchor bolts supplied by TG16.0 Interiors/Finishes for incorporation into the structural/topping slab concrete pours. TG16.0 Interiors/Finishes shall ensure that all embedded items are laid out and installed properly at the time of concrete placement. All costs to correct any incorrectly located embedded items will be the responsibility of TG16.0 Interiors/Finishes.
  - 25. Cranes/Hoisting
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- d) This hoisting excludes rigging and distribution or spreading of materials once landed on the floor or roof. If cranes are used in the street include all costs associated for lane and street closures. Costs to be included as a part of street closures, but are not limited to, City and County of San Francisco regulations associated with neighborhood disruption, allowable lane/street closure time periods, and moratorium blackout periods.
- e) If this General Contractor intends to use small hoisting equipment such as forklifts on the roof, account for all rooftop obstacles such as seismic joints, footing and support walls, upturned beams, shear keys, light pedestals, and all other obstacles which may be present and need to be maneuvered around so that damage does not occur. Reference Attachment 2 Logistics exhibit SL-027. Account for any reinforcement or shoring which may be required to support the structure for all hoisting equipment with a full load. Ensure that damage does not occur to work of other trades including, but not limited to, waterproofing, structural elements, light column, skylights, etc. The Structural Engineer of Record of the building must approve all proposed hoisting plans if they

impose a load to the building. Webcor/Obayashi Joint Venture must approve all proposed hoisting plans.

#### 34. Submittals

This General Contractor shall be required to attend two additional Submittal preparation and review meetings. The intent of these meetings is for the TJPA design team to provide additional assistance to this General Contractor at the beginning of this bid package's submittal development. This instruction does not relieve the selected General Contractor from full compliance with the requirements of the Contract Documents.

#### First preliminary meeting – Pre-Preparatory # 1:

This meeting will be scheduled after Notice of Award is issued and after this General Contractor has started the submittal development. The purpose of this meeting is to review the design, design criteria, performance requirements, submittal schedules, applicable codes and ordinances at the time of award, and the requirements of the Authorities Having Jurisdiction (AHJ). Agenda checklist will be published within 72 hours of the meeting.

- a. Meeting shall be attended by the following (at all stages):
  - i. Owner Representatives
  - ii. Architect representatives Pelli Clarke Pelli Architects (PCPA)/Adamson Associates, Inc. (AAI)
  - iii. Structural, Mechanical, Plumbing, Electrical and Fire Protection Engineers (if applicable)
  - iv. This General Contractor's Project Manager and Engineer of Record (if applicable)
  - v. Webcor/Obayashi Joint Venture Representatives
- b. Minutes shall be published by Webcor/Obayashi Joint Venture's QC Manager and issued to the team within 48 hours.

Second preliminary meeting – Pre-Preparatory # 2:

This meeting will be scheduled at 95% progress of the submittal for this trade package. The purpose is to allow this General Contractor and its Engineer of Record to present the submission and demonstrate they have complied with the contract requirements prior to final submission to TJPA for review and action.

- a. Meeting shall be attended by the following (at all stages):
  - i. Owner Representatives
  - ii. Architect representatives PCPA/AAI
  - iii. Structural, Mechanical, Plumbing, Electrical and Fire Protection Engineers (if applicable)
  - iv. This General Contractor's Project Manager and Engineer of Record (if applicable)
  - v. Webcor/Obayashi Joint Venture Representatives
- b. Minutes shall be published by Webcor/Obayashi Joint Venture's QC Manager and issued to the team within 48 hours.

#### 35. Substitutions

b) Bidders wishing to propose an alternate product to what is specified shall submit a Pre-bid Request for Substitution (see Specification Section 00 04 41 for requirements). Bidders

shall include the cost to furnish and install specified or approved Pre-bid Substitutions in their base bid price.

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44. Quality Control

b) Furnish 4 ea. QC Specialists (1 per zone) to be full time on-site while work is being performed within a zone. The QC Specialists shall begin work on-site no less than 4 weeks prior to work beginning in the zone.

c) Furnish 1 ea. QC Assistant to be full time dedicated to this project for the entire time TG16.0 is performing work in the field. Reference "QC Assistant Responsibility Matrix 2.25.15" for minimum duties.

d) Furnish, install, maintain, and dispose of temporary protection for ceramic tile installed as a part of this Trade Package as described in the documents entitled "TG16.0 Temporary Protection – Millwork 2.20.15".

e) Furnish, install, maintain, and dispose of temporary protection for millwork installed as a part of this Trade Package as described in the documents entitled "TG16.0 Temporary Protection – Tile 2.20.15".

f) Furnish, install, maintain, and dispose of temporary protection for doors and door frames installed as a part of this Trade Package as described in the documents entitled "TG16.0 Temporary Protection – Door and Door Frames 2.20.15".

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**D.** Small Business Enterprise (SBE) Program

The SBE utilization goal for this General Contractor is 19% of the total value of this General Contractor's bid value.

#### 3. Base Bid Item Scope

#### **Interiors/Finishes Package Scope of Work**

This section is supplemental information only to the Contract Documents used to describe how the bid pricing is to be broken down and to generally describe the scope of the work defined in the Contract Documents. All necessary work from mobilization to handover to the next Trade Subcontractor shall be included in the bid items.

The amount paid for all of the items below shall include full compensation for furnishing all labor, materials, equipment, installation, welding, tools, transportation, disposal fees, incidentals, all patch work including multiple mobilization/demobilizations as required, and any other costs/fees necessary to complete this work.

Bid Pricing shall be split into "Below Ground Level" and "Ground Level and Above" due to the difference in project funding sources for these two sections. This General Contractor shall allocate its cost to each appropriate section.

The scope of work listed below is organized as shown to promote clarity. Groupings shown are not intended to limit the responsibility of bidders to provide a complete package, or determine how the work is divided by this General Contractor. Bidders shall be responsible for planning and assembling logical, seamless, and distinct trade packages for the scope of work and shall arrange and delegate the Work as they deem appropriate to provide a complete scope of work.

#### DA **Interiors/Finishes Primary Specifications**

01 17 00 Completion and Contract Closeout 01 80 50 Seismic Design Criteria for Nonstructural Components 03 20 02 Concrete reinforcement and Embedded Assemblies 04 20 00 Concrete Masonry Units 05 12 13 Architecturally Exposed Structural Steel 05 12 14 Architecturally Exposed Structural Steel – Superstructure Package 05 41 00 Structural Metal Stud Framing System 05 50 00 Metal Fabrications 06 40 00 Interior Architectural Woodwork 06 67 00 Ballistic-Resistant Panels 07 09 13 Seismic Joint Assemblies 07 13 14 Self-Adhered Sheet Waterproofing and Miscellaneous Flashings 07 21 00 Thermal and Safing Building Insulation 07 21 80 Sprayed Thermal Insulation (INS-7) 07 42 13 Preformed Metal and Clay Panel Cladding (W-16, W-17, W-19 & W-21) 07 62 00 Sheet Metal Flashing and Trim 07 72 33 Roof Hatch 07 84 13 Penetration Firestopping 07 92 00 Joint Sealants 08 05 13 Airblast Criteria for Glazing and Cladding Systems 08 11 13 Steel Doors and Frames 08 11 15 Commercial Security Steel Doors and Frames 08 11 15/APA Commercial Security Steel Doors and Frames 08 11 16 Flush Stainless Steel Doors and Frames 08 31 13 Access Doors and Frames 08 31 20 Floor Doors 08 34 54 Ballistic Doors and Frames 08 34 54/APA Ballistic Doors and Frames 08 39 53 Blast Resistant Doors and Frames 08 39 53/APA Blast Resistant Doors and Frames 08 71 10 Base Building Door Hardware 08 71 23 Main Package/ Automatic Door Operators 08 78 10 Special Function Hardware 08 78 10/APA Special Function Hardware 08 80 00 Glazing 08 80 03 Glass Types 09 24 00 Portland Cement Plaster 09 21 16 Gypsum Board 09 22 19 Non-Structural Metal Framing 09 25 50 Cement Backer Board 09 30 00 Tiling *E*... Exhibit A – TG16.0 **Revised & Reissued for Addendum #5** 

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09 51 00 Acoustic Ceiling Tile 09 65 13 Resilient Base 09 68 13 Tile Carpeting 09 69 00 Access Flooring 09 77 23 Acoustical Wall Treatment 09 80 00 Acoustic Insulation and Sealants 09 91 00 Painting 09 97 13 Site Paints 09 97 15 High Performance Coatings 09 97 16 High Performance Coatings - Superstructure Package 10 14 43 Photo-Luminescent Exit Accessories (PLEA) 10 21 13 Toilet Partitions and Screens 10 22 39 Operable Partition 10 28 00 Restrooms Accessories 10 44 13 Fire Extinguisher Cabinets 10 44 16 Fire Extinguishers 10 51 13 Metal Lockers 10 81 13 Bird Control Devices 12 36 61 Engineered Stone Countertops 13 34 24 Prefabricated Guard Booths 13 34 24/APA Prefabricated Guard Booths 21 05 50 Access Doors in General Construction 22 05 50 Access Doors in General Construction 23 05 50 Access Doors in General Construction

32 17 23 Pavement Markings and Striping

## **Interiors/Finishes Detailed Scope of Work**

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## **General Scope**

- 1. Furnish and install all cut outs for MEPS within the work of this Trade Package.
- 2. Prepare all substrates (roughening of concrete, grinding, filling, etc.) to receive the work of this Trade Package. This includes, but is not limited to, adjusting substrate flatness properly installed by other trade subcontractors to account for differences in allowable deviation specified for the work of the other trade subcontractors and the work of this Trade Package, daily cleaning/drying of substrate to receive the work of this Trade Package, crack repair within substrate, grinding/blasting of substrates to achieve required adhesion, furnishing and installation of vapor barrier, and all other required preparation. This General Contractor shall protect, and patch adjacent work if impacted by preparation operation.
- 3. Furnish all engineering for the work of this Trade Package.
- 4. Furnish all BIM coordination as required by Exhibit F. Coordinate with MEPS trade subcontractors and all other trades to assure the work of this trade package is fully coordinated.
- 5. Furnish and install all sheet metal flashing and trim integral to this scope of work (UV Flashing, flashing of penetrations, fire rated assemblies, etc.).
- 6. Furnish and install all joint sealants associated with/integral to this scope of work
- 7. If this General Contractor intends to request the use of the elevator for work inside of the hoist ways/elevator shafts, this General Contractor shall pay TG14.1 Elevator Trade Subcontractor to operate the elevator for work of TG16.0 Interiors/Finishes within hoist ways/elevator shafts.
- 8. Furnish and install all scaffolding for own work.

- 9. Prior to the installation of this Trade Package's work, fireproofing may be installed. At areas where fireproofing has been installed prior to the work of this trade package, TG16.0 Interiors/Finishes shall scrape all fireproofing for own work, and pay TG16.8 Fireproofing Trade Subcontractor to restore all fireproofing disturbed as a result of TG16.0 Interiors/Finishes' work per Contract Documents and to the satisfaction of the testing agency inspection.
- 10. Furnish all scanning required for this scope of work (see Sheet S-0008 Note PA-1 and Note PA-3 for examples of where this will apply).
- 11. Assume the area around all elevator doors will be left out for elevator installation, and that patching back of these areas will be performed out of sequence.
- 12. Furnish and install all support, bracing, embeds, strapping, miscellaneous metal, inserts, blockouts, sleeving, backing, plywood sheathing, treated wood, blocking, anchor bolts and fish plates associated with/integral to the work of this Trade Package.
- Furnish all third party testing, review, observation, inspection, and associated reports for this scope of work not explicitly called out to be paid for by the owner (see Specification Section 01 80 50 3.3, Specification Section 07 21 80 3.1 E, Specification Section 07 72 33 3.3, and Typical Note 9/A-0034 for examples).
- 14. Portions of the concrete work will be completed prior to installation of TG16.0 Interiors/Finishes' work. Furnish and install all post-installed anchors/embeds associated with/integral to the work of this Trade Package.

#### **General Exclusions**

- 1. Project ID Signs called for in Specification Section 01 15 01.
- 2. Inspector's Office called for in Specification Section 01 15 90, Subsection 1.3.

#### Masonry Scope

- 1. Furnish and install all concrete masonry units and associated work including block outs (refer to MEPS and the remaining Contract Documents for block out locations).
- 2. Furnish and install all rebar for this scope of work and connection to the work of other trade subcontractors.
- 3. Furnish and install all grouting for own work and under structural steel supported by the work of this Trade Package (see Detail 12/S1-9001 for example of grouting for steel).
- 4. Furnish all drilling and epoxying of rebar/anchors for the work of this Trade Package if required in areas where slabs/curbs have been installed. Within 15 days of contract date, this General Contractor shall field measure existing CMU wall rebar dowels and advise Webcor/Obayashi Joint Venture of any conflict no later than 21 days after start of field measuring.
- 5. Furnish and install all miscellaneous metal bracing at the head of wall.

#### Masonry Exclusions

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  - 1. **DELETED**
  - 2. CMU specified under 04 22 00 Site Concrete Masonry Walls.

#### Walls and Ceilings Scope

- 1. Furnish and install all structural and non-structural metal framing except as specifically excluded.
- 2. Furnish and install all ballistic resistant panels integral to and associated with the work of this Trade Package (see A-0023 for sample wall types with ballistic resistant panels).

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- 3. Furnish and install all thermal and safing building insulation (sprayed insulation, batt insulation, rigid insulation, air sealing, head of wall, edge of deck, CMU/Concrete expansion joints, bottom of deck, etc.) except as specifically excluded.
- 4. Furnish and install all penetration firestopping (framed walls, concrete walls, CMU walls, structural penetrations through slabs, etc.) as specifically shown within the Contract Documents except as specifically excluded.
- 5. Provide for 25 locations of wall/ceiling framing and installation of access doors not shown on the Contract Documents. Access doors required beyond what is shown on the Contract Documents are to be furnished by and final location coordinated with other trade subcontractors. Man hours and material are to be tracked on tags, and verified by Webcor/Obayashi Joint Venture on a daily basis.
- 6. Furnish and install all gypsum wall board except as specifically excluded.
- 7. Furnish and install all acoustic ceiling tile systems. In addition to attic stock, provide 1% of total ceiling tiles to Webcor/Obayashi Joint Venture.
- 8. Furnish and install all acoustic insulation and acoustic sealants as required by the Contract Documents except as specifically excluded.
- 9. Furnish and install all firestopping and acoustic assemblies (including but not limited to miscellaneous metal, firestopping, mineral wool, fire caulk, sheet metal sleeves, etc.) associated with all walls (framed, CMU, and concrete walls) and edge of deck assemblies except as specifically excluded. Foam forming material within joints (head, seismic, construction, etc.) of concrete walls will be in place. TG16.0 Interiors/Finishes shall remove as much of the forming material as necessary to create a rated assembly.
- 10. Furnish and install all cant strips at shaft interiors.
- 11. Furnish and install all cleaning of wall cavities prior to closing up the work of this Trade Package.
- 12. Pay special attention to finishing requirements at elevator shaft interiors.
- 13. Pay special attention to seismic/expansion joints located within this scope of work.
- 14. Pay special attention to areas noted as receiving flooring, base, and/or finish ceilings, but are not shown as being painted.

## Walls and Ceilings Exclusions

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- Framing, sealant, and insulation integral to curtain walls (W-3, W-4, W-8) and framed skylights (W-10), exterior awnings (W-1), metal ceilings (W-14) and cladding (W-9), metal panel systems (W-16, W-17, W-19), retail facade, aluminum column cladding (W-2, W-6)/glass cladding (W-5, W-7), and structural glass flooring (W-12, W-13). This exclusion does not apply to walls where other cladding systems are hung on the same wall as the W-21 cladding systems.
- 2. Acoustic and fire assemblies at edge of deck directly behind "W" systems listed in Exclusion #1.
- 3. Penetration firestopping for MEPS (Mechanical, Electrical, Plumbing, and Security) penetrations
- 4. Thermal insulation within paving assemblies (see Detail 1/A-0040, INS-9 called out at perimeter of W-10 and other concrete curbs on Sheet A1-2988 for examples) and supporting topping/protection slabs.
- 5. Gypsum board within a "W" system listed in Exclusion #1 (see Sheet A1-8171 for example). This exclusion does not apply to exposed gypsum board on the interior side of a "W" system.
- 6. Surface mounted plywood backing on Electrical Room walls.

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## **Cladding Scope**

1. Furnish and install all clay panel cladding (W-21), terra cotta, and all associated assemblies (support, rain screen, integration into adjacent waterproofing, finishes, joint sealants, etc.).

- 2. Furnish and install all cement plaster, including associated support, accessories, flashing, sealant and all other elements integral to the system.
- 3. Pay special attention to sealant within design-build systems.
- 4. Pay special attention to seismic/expansion joints located within this scope of work.
- 5. Coordinate with adjacent trade subcontractors (TG13.2 Roofing/Waterproofing, TG08.4 Metal Panels (W-5, W-7, W- 9, W-16A/B/C, W-17, W-19), etc.) to assure a fully integrated, water tight system.
- 6. Furnish and install WJC5 expansion joints integral to the W-18 Portland Cement Plaster wall system.

#### **Cladding Exclusions**

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1. Prefinished aluminum trellis at Roof Park Terrace Level Restaurant.

#### **Doors, Frames, and Hardware Scope**

- 1. Furnish and install all steel doors and frames except as specifically excluded.
- 2. Furnish and install all stainless steel doors and frames except as specifically excluded.
- 3. Furnish and install all commercial security steel doors and frames except as specifically excluded.
- 4. Furnish and install all flush stainless steel doors and frames except as specifically excluded.
- 5. Furnish and install all ballistic doors and frames except as specifically excluded.
- 6. Furnish and install all blast resistant hollow metal door and frame assemblies except as specifically excluded.
- 7. Furnish and install all glass, glazing and associated coatings for doors and frames furnished and installed by TG16.0 Interiors/Finishes.
- 8. Furnish and install all door hardware, key storage, and operators for doors furnished and installed by TG16.0 Interiors/Finishes.
- 9. Furnish and install all special function hardware for doors furnished and installed by TG16.0 Interiors/Finishes.
- 10. Furnish and install all graffiti resistant glass film required for glazing furnished and installed by TG16.0 Interiors/Finishes.
- 11. TG10.4 Electrical Trade Subcontractor shall furnish and install electrical pathway to electrified hardware transformer/controller, and to the door frames for the electrified hardware. TG16.0 Interiors/Finishes shall furnish electrified hardware transformers/controllers to TG10.4 Electrical Trade Subcontractor for installation by TG10.4 Trade Subcontractor (this installation only includes landing of line voltage and low voltage wiring from the Electrical/IDF Rooms to the hardware transformer/controller). TG16.0 Interiors/Finishes shall furnish, install, and make final connections for all conductors from the hardware transformers/controllers to electrified door hardware.
- 12. TG16.0 Interiors/Finishes shall commission all of the equipment and material furnished as a part of this Trade Package (doors, electrified door hardware, etc.). Corrections shall be made immediately at the time of commissioning/test & balance. Assume this work will be performed outside of standard working hours.
- 13. This General Contractor shall coordinate with electrical subcontractor for location of line and low voltage pathway as required for hardware.
- 14. Furnish and install all grouting and insulation for door frames as required by the Contract Documents and manufacturer for a fully functional system.
- 15. Furnish and install temporary construction doors and lockable hardware at all exterior doors, IDF room doors, MDF doors, and electrical room doors furnished as a part of this Trade Package. In addition, furnish and install 15 each temporary construction doors and lockable hardware at

locations to be directed by Webcor/Obayashi Joint Venture. Electrical rooms and IDF rooms are to be keyed the same as each other, and exterior doors are to be keyed the same as each other (electrical/IDF rooms shall be keyed differently from exterior doors). Furnish 20 of each type of key to Webcor/Obayashi Joint Venture. Remove and properly dispose of temporary doors and hardware as directed in writing by Webcor/Obayashi Joint Venture.

- 16. TG16.0 Interiors/Finishes shall take responsibility to lead keying, and coordination with other trade subcontractors to establish the final keying for the entire project.
- 17. For design-build doors/performance based doors, verify all specified door hardware will properly function with the associated doors. TG16.0 Interiors/Finishes shall notify Webcor/Obayashi Joint Venture of any hardware which will not properly function on the associated doors, and provide hardware which will allow the impacted door to function as intended by the Contract Documents. Replacement hardware will be submitted for review and approval prior to installation. The cost of this verification and substitute hardware is to be included in the base contract cost.

#### **Doors, Frames, and Hardware Exclusions**

- 1. Doors and frames integral to curtain walls (W-3, W-4, W-8), retail facade, glass cladding (W-5, W-7), and preformed metal cladding (W-16A).
- 2. Hardware for fences, gates, and doors integral to glass cladding (W-5, W-7), curtain walls (W-3, W-4, W-8), and preformed metal cladding (W-16A).

#### **Coatings Scope**

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- 1. Furnish, install, and maintain all acclimatization of work/storage areas for painting and high performance coatings, and the associated maintenance of environmental conditions to meet manufacturer's installation instructions and requirements of the Contract Documents. Assume no building mechanical will be available for this purpose.
- 2. Furnish and install all painting (including all mechanical, electrical, structural/misc./stair steel, plumbing, fire sprinkler, site utility, site paints, and all other painting), paint prep, and labeling of fire and smoke walls and partitions except as specifically excluded.
- 3. Pay special attention to areas noted as receiving flooring, base, and/or finish ceilings, but are not shown as being painted.
- 4. Furnish and install all high performance coatings except as specifically excluded.
- 5. After completion of all base contract coatings, furnish and install one round of patching and paint touch-ups of the work as directed by Webcor/Obayashi Joint Venture.
- 6. DELETE Furnish and install all decorative top coats for intumescent paint.
- 7. Furnish and install all photo-luminescent exit accessories (for additional information, see RFI No. P1-0681).
- 8. Furnish and install all, preparation and painting of MEPS material called out to be painted (exposed fire sprinkler lines, conduit, etc.).
- 9. Furnish and install all required painting of exposed ironwork for plumbing fixtures.
- 10. Furnish and install all surface preparation of substrate to receive coatings installed as a part of this trade package. Refer to the Fabricator Coating Matrix and Fabricator Scope Breakdown in the scoping documents for a current steel coating primer location matrix. TG16.0 Interiors/Finishes shall coordinate with TG07.1R Structural Steel Trade Subcontract for final steel primers installed.
- 11. Furnish and install all patching of ports in cast nodes/basket columns.
- 12. Furnish and install all sealant/caulk at adjacent dissimilar material to make ready for coatings.
- 13. Pay special attention to finishing requirements at elevator shaft interiors.

- 14. The TG07.1R Structural Steel Trade Subcontractor is shipping to the site and installing Ground Level Basket Column Cast Nodes unprimed. Assume Ground Level Basket Column Cast Nodes and associated cylindrical AESS elements/AESS closure elements will be received unprimed with erection aids cut off and all welds restored to the required AESS finish. Prior to installing finish coatings, TG16.0 Interiors/Finishes shall prep and prime the Ground Level Basket Column Cast Nodes, associated cylindrical AESS elements/AESS closure elements, and adjacent impacted AESS material.
- 15. The TG07.1R Structural Steel Trade Subcontractor is shipping to the site and installing Bus Deck Level Basket Column Cast Nodes unprimed. Assume Bus Deck Level Basket Column Cast Nodes will be received unprimed with erection aids cut off and all welds restored to the required AESS finish. Prior to installing finish coatings, TG16.0 Interiors/Finishes shall prep and prime the Bus Deck Level Basket Column Cast Nodes and adjacent impacted AESS material.
- 16. Assume galvanized stairs will be spot primed with Tnemic 90-97. TG16.0 Interiors/Finishes shall perform all surface prep required to assure all coatings are compatible and warrantable.

### **Coatings Exclusions**

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- 2. Painting of bollards and wedge barriers.
- 3. Painting of prefinished items.
- 4. Painting of metal mechanical duct interiors.
- 5. High Performance Coatings associated with metal integral to curtain walls (W-3, W-4, W-8), framed skylights (W-10), exterior awnings (W-1), metal ceilings (W-14) and cladding (W-9), metal panel systems (W-16, W-17, W-19), retail facade, aluminum column cladding (W-2, W-6)/glass cladding (W-5, W-7), and structural glass flooring (W-12, W-13).
- 6. Painting of the W-1 outriggers (outboard of the basket columns).

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#### Ceramic Tile Scope

- 1. Furnish and install all cement backer board.
- 2. Furnish and install all tiling (including setting beds, waterproofing, thinset, tile, grouting, sealer, trim and all other material required for a complete system).
- 3. Furnish and install all stone thresholds.
- 4. Furnish and install all WPM-12 Waterproofing.
- 5. Pay special attention to areas noted as receiving flooring, base, and/or finish ceilings, but are not shown as being painted.

## **Ceramic Tile Exclusions**

1. None.

#### **Flooring Scope**

- 1. Furnish and install all resilient base.
- 2. Furnish and install all tile carpeting.
- 3. Furnish, install, and maintain all acclimatization of work/storage areas for flooring, and the associated maintenance of environmental conditions to meet manufacturer's installation instructions and requirements of the contract documents. Assume no building mechanical will be available for this purpose.

- 4. Furnish and install all vapor barrier for flooring as recommended by flooring manufacturer where testing indicates it is required by the contract documents and/or manufacturer's written installation instructions.
- 5. Pay special attention to areas noted as receiving flooring, base, and/or finish ceilings, but are not shown as being painted.

#### **Flooring Exclusions**

1. None.

#### Architectural Woodwork Scope

- 1. Furnish and install all interior architectural woodwork, including but not limited to casework, countertops, shelving, factory-finished architectural woodwork, hardware, accessories, and supports except as specifically excluded.
- 2. Furnish and install all engineered stone countertops and back splashes.

#### Architectural Woodwork Exclusions

1. Steel supports for counter top and vanity tops.

#### **Prefabricated Buildings Scope**

- 1. Furnish and install all prefabricated guard booths including all MEPS, embeds, testing, and coordination required for a complete system.
- 2. No later than 30 days after issuance of the TG16.0 Interiors/Finishes Notice to Proceed, furnish layout/canning drawings for all prefabricated guard booths for coordination with the work of other trades.

#### **Prefabricated Buildings Exclusions**

1. None.

#### **Specialties Scope**

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- 1. Furnish and install all roof hatches, hatch railings, self-closing gates, associated materials and work required for a complete system per the Contract Documents and manufacturer's requirements.
- 2. Furnish and install all access doors as indicated within the Contract Documents.
- 3. Furnish and install all access flooring systems and associated floor finish/floor coverings. Coordinate and make accommodation for MEPS routing and penetrations through flooring systems.
- 4. Furnish and install all acoustical wall treatments.
- 5. Furnish and install all toilet partitions and screens. All partition hangers, supports, bracing, backing, and connections to structure are to be included in this scope of work.
- 6. Furnish and install all restroom accessories. Item 18 Custom mirrors (for public restrooms) is included in this trade package.
- 7. Furnish and install all operable partitions including all support (miscellaneous metals, bracing, etc.) and connection to structure complete.

- 8. Furnish and install all fire extinguisher cabinets, brackets, and any other mounting assembly required.
- 9. Furnish and install all fire extinguishers.
- 10. Furnish and install all metal lockers and associated accessories.
- 11. Furnish and install all bird control devices/bird deterrent systems except as specifically excluded.
- 12. Furnish and install all floor doors.
- 13. Furnish and install all bus deck level benches.
- 14. Furnish and install all pavement marking and coatings on the Vehicular/Bike Ramps, Lower Concourse, and Bus Deck Levels.
- 15. Furnish and install all protected zone warning signs over sprayed fire-resistive materials.

### **Specialties Exclusions**

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- 1. Furnish and install Bird Control Devices/ Bird Deterrent Systems directly affixed to "W" systems listed in Exclusion/Clarification/Qualification 3 or their associated direct structural supports.
- 2. Furnish and install pavement markings and striping at Ground Level and the Bus Ramp.
- 3. Furnish and install Retractable Tubular Railing.

### Work Platform Scope

1. Design (including wet stamped engineering calculations), furnish, install, maintain and remove elevated work platforms and motorized winches as described within the supplementary documents for use by all trade subcontractors requiring access. The elevated work platforms and motorized winches shall be fully erected and green tagged no later than 2 weeks prior to start of installation of adjacent "W" systems, and shall stay in place 280 calendar days at the Grand Hall and 160 calendar days at the east and west skylights (see Supplemental Document "Elevated Work Platform Dwg's").

#### **Work Platform Exclusions**

1. None.

#### **Final Cleaning Scope**

- 1. Furnish all final cleaning required for final acceptance of the work by the TJPA. Final cleaning shall include 2 full cleanings as directed by Webcor/Obayashi Joint Venture. The first round of cleaning shall assure the entire building is cleaned to a level acceptable for final sign-off by TJPA. After the punch list work has been completed, the second round of cleaning shall assure the entire building is cleaned to a level acceptable for final sign-off by TJPA. Assume that the work will require multiple mobilizations, multiple crews, and will be performed in a discontinuous flow. Final cleaning shall include, but is not limited to:
  - a) General Cleaning of Building Interiors:
    - i. Windows & Window Frames: Wipe down, clean, and polish all interior window surfaces, window frames, and skylights, removing any and all labels, tape, cork pads, residue, etc. Vacuum and wipe clean all window tracks, hardware, and clean all sills. Do not remove labels associated with building code, i.e. door rating labels / UL stickers, etc.
    - ii. Doors & Door Frames: Clean all doors and door frames including, but not limited to, all thresholds, handles, door stops, closers, hardware, etc. Do not remove labels associated with building code, i.e. door rating labels / UL stickers, etc.

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- iii. Glazing and Metal Surfaces: Remove all protective plastic coatings, labels, tape, cork pads, and residue from interior glazing and metal surfaces including, but not necessarily limited to all sunshades, storefronts, and architectural metals. Clean interior and exterior glass and mirrors. Clean inside and outside of all glass doors and office glass. Wash interior and exterior of all window and glass door systems. Provide lifts, ladders, scaffolding as necessary to perform this work. Do not remove labels associated with building code, i.e. door rating labels / UL stickers, etc.
- iv. Dusting: Dust all furniture, base, walls, ceilings, trim, wall switches, diffusers, MEP grilles & registers, and etc.
- v. Toilet & Plumbing Accessories: Clean and sanitize all toilets, faucets, escutcheon, plates urinals, sinks, tubs, chrome, mirrors, toilet room accessories, etc.
- vi. Casework & Fixtures: Clean, dust, and wipe down inside and outside of all cabinets & drawers, countertops, and fixtures. Clean all shelving, cabinets and equipment.
  Vacuum, wipe and remove stickers from inside and outside of all cabinets and drawers.
- vii. Appliances & Equipment: Clean and dust inside and outside of all appliances and equipment (i.e. kitchen & break room equipment). Remove packing and labels from appliances. Includes polishing all stainless steel. Place all appliance operating instructions in cabinet drawers.
- viii. Light Fixtures: Dust and clean all light fixtures and bulbs.
- ix. Flooring: Clean all hard surface flooring including tile, and linoleum flooring to a dirt free condition, free of stains, films, and similar foreign substances.
- x. Carpet: Vacuum and spot clean all carpet and similar soft surfaces, removing debris and excess nap from surface. Shampoo if visible soil or stains remain.
- xi. Concrete Floors: Clean all exposed concrete floors to a dirt free condition, free of stains, films, and similar foreign substances.
- xii. Hard-surfaced Finishes: Clean and wipe down all exposed interior hard-surfaced finishes including, but not limited to wall tile, FRP, gypsum walls & ceilings, wood and metal ceilings, etc. to a dirt free condition, free of stains, films, and similar foreign substances.
- xiii. Fire Extinguisher Cabinets: Wipe down and clean all fire extinguisher cabinets.
- xiv. Handrails & Railings: Wipe down and clean all handrails and railings. Glass handrail shall be cleaned to a smudge free finish and associated hardware polished.
- xv. Exposed Steel: Clean all exposed steel.
- xvi. Equipment: Wipe down surfaces of mechanical, electrical, elevator, and similar equipment removing excess lubrication, paint, and mortar droppings. Take all necessary precautions to avoid hitting any switches, buttons, valves, etc. that would disrupt operation of equipment.
- xvii. Elevators: Wipe down, clean, and vacuum all elevators including elevator fronts, floors, walls, ceilings, elevator lobbies and vestibules, and elevator doors. Clean vent, heater and exhaust registers.
- xviii. Interior Stairwells: Sweep all stairwells to a broom clean condition. Wipe clean all stair railings, stairwell doors, and stairwell door frames.
- xix. Exposed Ductwork and MEPS work: Dust and clean all exposed MEPS pipes, electrical, ductwork (including registers / grills), etc. in areas where these elements are visible by the public.

Loading Docks & Service Areas:

- i. Sweep concrete floors with sweeping compound and clean all interior and exterior glass and mullions.
- ii. Wipe down and clean all entries, doors, frames, hardware, louvers, lighting fixtures, etc.

- iii. Clean all equipment as necessary.
- iv. Floors: Sweep all concrete floors to a broom clean condition.
- b) Exterior Cleaning:
  - i. Exterior Windows & Window Frames: Wipe down, clean, and polish all exterior window surfaces, window frames, and skylights, removing any and all labels, tape, cork pads, residue, and etc. Clean all window mullions and panels inside and out. Vacuum and wipe clean all window tracks, hardware, and clean all sills.
  - ii. Glazing and Metal Surfaces: Remove all protective plastic coatings, labels, tape, cork pads, and residue from exterior glazing and metal surfaces including, but not necessarily limited to exterior awning, glazing, louvers, canopies, sheet metal flashings & trim, and any other metal surfaces as required. Wipe down and clean all storefronts and architectural metals. Do not remove labels associated with building code, i.e. door rating labels / UL stickers, etc.
  - iii. Exterior Doors & Door Frames: Clean all exterior doors and door frames including, but not limited to, all thresholds, handles, door stops, closers, hardware, and etc.
  - iv. Handrails & Railings: Wipe down and clean all handrails and railings.
- c) Exterior Hardscape: Sweep all site concrete to a broom clean condition, power wash all exterior hardscape including, but not necessarily limited to ramps, plaza, stairs, sidewalks, landscape planters, ramp walls, and etc. Remove any spills, stains, or other foreign deposits. Wipe down and clean all benches and supports. Take all necessary precautions to not abrade or otherwise damage surface of hardscape, adjacent concrete and walls, and landscaping.
- d) Product Compatibility: Ensure that cleaning products are compatible with surfaces to be cleaned. Use products in accordance with manufacturer's recommendations and specifications. This General Contractor is responsible for ensuring that cleaning products are compatible with surfaces to be cleaned and shall not leave marks, residue, stains, blemishes, etc. This General Contractor is responsible to ensure work performed does not scratch or damage surface in any way. Use products in accordance with manufacturer's recommendations and specifications. This General Contractor is responsible to ensure work performed does not scratch or damage surface in any way. Use products in accordance with manufacturer's recommendations and specifications. This General Contractor is responsible for obtaining said recommendations prior to start of work.
- e) Labels: Remove temporary labels, stickers, tape, marking, mastic, residue, glue, etc. prior to cleaning. Clean, but do not remove, permanent name plates and labels associated with building codes or equipment (i.e. door rating labels, UL stickers, building signage, etc.).
- f) Signage: Wipe down and clean all signage.
- g) This General Contractor is to provide all cleaning supplies (sponges, mops, brooms, vacuums cleaners, cleaners, etc.) and any other material or equipment (lifts, ladders, etc.) required to complete this scope of work.
- 2. In addition to final clean, Elec., IDF/MDF rooms and SFPUC vaults are to be thoroughly cleaned. Assume one cleaning per room/vault prior to final clean as directed by Webcor/Obayashi Joint Venture.

#### **Final Cleaning Exclusions**

1. None.

#### END OF SCOPE OF THE PACKAGE AND BID ITEM INFORMATION

## V. CONSTRUCTION SCHEDULE

A Refer to Project Bidding Manual Rev. 30, Section IV.C for Construction Schedule.

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### END OF CONSTRUCTION SCHEDULE

#### VI. INSURANCE AND BONDING REQUIREMENTS

The insurance requirements outlined below supersede the related requirements in Specification Section 00 08 05 and Section 16 of the Long Form Subcontract.

#### 1. GENERAL CONTRACTOR'S LIABILITY INSURANCE

This General Contractor shall maintain in full force and effect, for the period covered by the subcontract, the following liability insurance with the following minimum specified coverage or coverage as required by laws and regulations, whichever is greater:

- A. Workers' Compensation in the statutory amount, including Employers' Liability coverage with limits not less than \$1,000,000 each accident, injury, or illness, and coverage for Federal Employers Liability Act.
- B. Commercial General Liability insurance with limits not less than \$2,000,000 each occurrence combined single limit for bodily injury and property damage, including coverage for Contractual Liability, Independent Contractors, Explosion, Collapse, and Underground (XCU), Personal Injury, Broadform Property Damages, and completed operations. The required limit may be satisfied through a combination of primary commercial general liability and excess liability policies. Notwithstanding Section 16.7 of the Long Form Subcontract, the requirement to maintain \$2,000,000 in Commercial General Liability Insurance shall apply ONLY to this General Contractor. This General Contractor's subcontractors and/or lower-tier subcontractors shall maintain the levels of Commercial General Liability Insurance set forth in Section 16 of the Long Form Subcontract agreement.
- C. Commercial Automobile Liability insurance with limits not less than \$1,000,000 each occurrence combined single limit for bodily injury and property damage, including owned, hired or non-owned vehicles, as applicable.

#### 2. ADDITIONAL COVERAGES

A. Professional Liability Insurance: In the event that this General Contractor employs professional engineer(s) or land surveyor(s) for performing Pre-Construction Services, field engineering, or preparing design calculations, plans and specifications, this General Contractor shall carry or shall require its retained engineers and land surveyors to carry professional liability insurance with limits not less than \$2,000,000 each claim with respect to acts, errors, or omissions in connection with professional services to be provided under the subcontract, with any deductible not to exceed \$250,000 each claim. With respect to land surveyors only, this General Contractor or its retained engineers should only have to evidence \$1,000,000 in professional liability insurance covering that scope of work, consistent with the standard requirements set forth in Article 16 of the Long Form Subcontract.

#### 3. INSURANCE FOR OTHERS

For general liability and automobile liability this General Contractor shall include as additional insured the Contractor (Webcor/Obayashi Joint Venture), TJPA, its board members, and all authorized agents and representatives, and members, directors, officers, trustees, agents and employees of any of them.

#### 4. FORMS OF POLICIES AND OTHER INSURANCE REQUIREMENTS

- A. Workers' Compensation Insurance shall be submitted to the Contractor before the commencement of any of the Work on Site.
- B. Before commencement of the work of this subcontract, certificates of insurance in form and with insurers acceptable to Contractor, evidencing all required insurance and with proper endorsements from this General Contractor's insurance carrier identifying as additional insured the parties indicated under paragraph 3 above, shall be furnished to Webcor/Obayashi Joint Venture with complete copies of policies in accordance with the Project Bidding Manual.
- C. Approval of the insurance by the Contractor shall not relieve or decrease the extent to which this General Contractor or subcontractors of any tier may be held responsible for payment of any and all damages resulting from its operations. All policies of insurance and certificates shall be satisfactory to Contractor.
- D. This General Contractor and its subcontractors shall comply with the provisions of California Labor Code Section 3700. Prior to commencing the performance of work, this General Contractor and all of its subcontractors shall submit to the Contractor a certificate of insurance evidencing liability for workers compensation or proof of selfinsurance in accordance with the provisions of the California Labor Code.
- E. Liability insurance, except for professional liability insurance, shall be on an occurrence basis, and said insurance shall provide that the coverage afforded thereby shall be primary coverage (and non-contributory to any other existing valid and collectable insurance) to the full limit of liability stated in the declaration, and such insurance shall apply separately to each insured against whom claim is made or suit is brought, but the inclusion of more than one insured shall not operate to increase the insurer's limits of liability.
- F. This General Contractor shall maintain professional liability coverage continuously throughout the term of this subcontract, and without lapse, for a period three years beyond the Contract Final Completion date to the effect that should occurrences during the Contract term give rise to claims made after expiration of the Contract, such claims shall be covered by such claims-made policies.
- G. Each such policy shall provide that no cancellation or non-renewal shall occur without the carrier giving to Contractor at least 30 days written notice prior thereto.

All notices shall be made to:

Webcor / Obayashi Joint Venture 1751 Harbor Bay Parkway, Suite 200 Alameda, CA 94502

- H. This General Contractor, upon notification of receipt by Contractor of any such notice, shall provide Contractor a certificate of the required new or renewed policy at least 10 days before the effective date of such cancellation, change or expiration, with a complete copy of new or renewed policy, if requested.
- I. If, at any time during the life of this subcontract, this General Contractor fails to maintain any item of the required insurance in full force and effect, all work of this subcontract may, at Contractor's sole option, be discontinued immediately, and all subcontract payments due or that become due will be withheld until notice is received by the Contractor as provided in the immediately preceding Paragraph 4.G that such insurance has been restored to full force and effect and that the premiums thereof have been paid for a period satisfactory to the Contractor.
- J. Any failure to maintain any item of the required insurance may, at Contractor's sole option, be sufficient cause for termination for default of this subcontract.

### 5. QUALIFICATIONS

This General Contractor must provide coverage from insurance companies who shall be legally authorized to engage in the business of furnishing insurance in the State of California. All insurance companies shall have a current A.M. Best Rating not less than "A-, VIII" and shall be satisfactory to Contractor.

#### 6. SUBGUARD AND BONDING

- A. This General Contractor is required to provide a Bid Bond for 5% of the total contract value.
- B. This General Contractor is not required to provide a Payment and Performance Bond. Subguard will be used in lieu of a Payment and Performance Bond.
- C. This General Contractor shall provide all documentation required by Subguard Surety to verify qualification for program.

#### END OF INSURANCE REQUIREMENTS

## VII. CONTRACT DOCUMENT LIST

Document	Description	Revision	Issue Date
Name		Name	
Long Form		Rev. 0	2015-02-12
Subcontract		Kev. 0	2013-02-12
Specification	Division 00 and Division 01 defined in Specification		
Division 00 and	Section 00 01 10		2014-08-11
Division 01			
Specification	Revised Division 00 and Division 01 defined in	Field Order	
Division 00 and	Specification Section 00 01 10	#T-00035	2015-02-11
Division 01	specification section of 01 10	#1-00033	
Technical	SFPUC IFB ES Drawings	Field Order	2014-06-19
Specifications	SFFUC IFB ES Diawiligs	#T-00029	2014-00-19
Technical	TG12.2 – OCS	Field Order #	2014-09-10
Specifications	1012.2 - 003	T-00033	2014-09-10
Technical	SEDUCIED ES Drowings Devision 1	Field Order	2014-09-16
Specifications	SFPUC IFB ES Drawings Revision 1	#T-00029R1	2014-09-10
Technical	IEC Conformed Set	CR No. T-128	2014 12 16
Specifications	IFC Conformed Set	ASI #128	2014-12-16
Technical	Main Dasta a	CR No. T-134	2015 02 27
Specifications	Main Package	ASI #130	2015-02-27
Technical		CR No.T-150	2015 04 27
Specification	Revised Site Work and Site Drainage	ASI #132	2015-04-27
	SEDUCIED ES Dromin as	Field Order #	2014-06-19
Drawings	SFPUC IFB ES Drawings	T-00029	2014-06-19
Drawings	TC12.2 OCS	Field Order #	2014 00 10
Drawings	TG12.2 – OCS	T-00033	2014-09-10
Duration	CEDIICIED EC Duraning a Davisian 1	Field Order #	2014 00 16
Drawings	SFPUC IFB ES Drawings Revision 1	T-00029R1	2014-09-16
Durania	IEC Conformed Set	CR No. T-128	2014 12 16
Drawings	IFC Conformed Set	ASI #128	2014-12-16
Duardin aa	Fountain Design	CR No. T-130	2015 01 20
Drawings	Fountain Design	ASI #129	2015-01-29
Danaria	Main Dashaga	CR No. T-134	2015 02 27
Drawings	Main Package	ASI #130	2015-02-27
Drowings	Link Boom Design	CR No. B-012	2015 02 04
Drawings	Link Beam Design	ASI #150-006	2015-03-04
Duomin of	Device d Cite Work and Cite Devices	CR No.T-150	2015 04 27
Drawings	Revised Site Work and Site Drainage	ASI #132	2015-04-27
	Refer to the following file sharing website:		
3D Models	https://webcor.box.com/s/j8gp4qxnd0wcouqsvmi8hri8	CR No. T-128	2014-12-16
	abjsw4e4 Password: WebcorBid!	ASI #128	
			2015 05 10
QBDs	Questions on Bid Documents (QBDs)	TG16.0 IFB	2015-05-18

The Contract Documents for this Trade Package include the following: E = D C B A

Document Name	Description	Revision Name	Issue Date
RFI's	Preconstruction RFIs (P1-0001 – P1-0681) Refer to the following link: <u>https://webcor.box.com/s/y6j9sumu82ho7n5b728i</u>		2015-02-06
RFI's	Construction RFIs (T-0001- T-25003100) Refer to the following link: https://webcor.box.com/s/e0leg0ysnlxguen0d3e55hno po4q5vke		<del>2015-03-17</del> 2015-05-14
Project Bidding Manual		Rev. 30	2015-03-13
Exhibit A	<u>General Contractor Bid Package Manual and Forms –</u> <u>Contract #301001600</u>	Rev. <del>D</del> E	2015-05-07 2015-05-18
Exhibit B	Warranty		2010-09
Exhibit C	Lien Releases	Rev. 07/2012	2012-08-22
Exhibit D	Sample Certificate of Insurance and Additional Insured Endorsement		
Exhibit E	LEED Subcontractor Submission Letter and Data Sheet	Rev. 3	2014-03-13
Exhibit F	BIM Requirements	Rev. 3	2015-02-12
Exhibit G	Subcontractor Payment Requisition		2012-04-03
Exhibit H	Site Specific Safety Plan	Rev. 9	2014-07-10
Exhibit I	Schedule	Rev. 1	2015-03-27
Exhibit J	Contractor Quality Control Plan	Rev. 10	2013-11-04
Exhibit K	Sediment and Erosion Control Plan		2011-02
Exhibit L	Hazardous Materials Management Plan	Rev. 1	2011-03-11
Exhibit M	RFI Q&A Log		2015-03-17 2015-05-14
Exhibit N	Noise & Vibration Mitigation Management Plan	Rev. 4	2012-09-07
Exhibit O	Air Quality Management Plan	Rev. 5	2012-01-16
Exhibit P	Construction Waste Management Plan	Rev. 6	2013-11-07
Exhibit Q	Apprenticeship Program	Rev. 0	2012-03-23
Exhibit R	Survey Information	Rev. 0	2012-03-23
Exhibit S	Traffic Control Plan	Rev. 2	2012-08-22

Document Name	Description	Revision Name	Issue Date
Exhibit U	Submittal Schedule	Rev. 0	2013-11-07
Exhibit W	Waterproofing		2011-05
Exhibit W	Waterproofing		2

<u>A B C D ....E</u>

### END OF CONTRACT DOCUMENT LIST

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## VIII. SUPPLEMENTAL DOCUMENTS LIST

This General Contractor shall review all of the supplemental documents listed below, which have been determined to be related to this Trade Package scope of work, and be familiar with all conditions affecting this General Contractor's scope of work. All associated costs due to the conditions and plans of the reference documents including all coordination shall be included in the Bid Amount.

Scoping Drawings are for use in clarifying the general scope of work, but are not all inclusive of the scope described. If a conflict or omission exists within the Scoping Documents and/or the Detailed Scope of Work, the written scope shall govern.

The Supplemental Documents for TG16.0 Interiors/Finishes are listed below and are currently available through Webcor/Obayashi Joint Venture's FTP website:

<u>E B A</u>			
<b>Document Type</b>	Document Name	<b>Revision Date</b>	
Scoping Drawing	A1-2104 Train Platform Level Zone 04 Floor Plan	02-12-2015	
Scoping Drawing	A1-2204 Lower Concourse Level Zone 04 Floor Plan	02-12-2015	
Scoping Drawing	A1-2304 Ground Level Zone 04 Floor Plan	02-12-2015	
Scoping Drawing	A1-2305 Ground Level Zone 05 Floor Plan	02-12-2015	
Scoping Drawing	A1-2306 Ground Level Zone 06 Floor Plan	03-18-2015	
Scoping Drawing	A1-2310 Ground Level Zone 10 Floor Plan	02-12-2015	
Scoping Drawing	A1-2502 Bus Deck Level Zone 02 Floor Plan	03-18-2015	
Scoping Drawing	A1-2983 Ground Level Ceiling Plan Thermal Insulation Extent	02-12-2015	
Scoping Drawing	A1-2985 Second Level Ceiling Plan Thermal Insulation Extent	02-12-2015	
Scoping Drawing	A1-2987 Bus Deck Level Ceiling Plain Thermal Insulation Extent	02-12-2015	
Scoping Drawing	A1-2989 Roof Level Plan Thermal Insulation Extent	02-12-2015	
Scoping Drawing	A1-3005 Lower Concourse Level SOC Suite Plane	02-12-2015	
Scoping Drawing	A1-3100 Minna Street Loading Dock Partial Plan	02-12-2015	
Scoping Drawing	A1-3101 Minna Street Loading Dock Sections	02-12-2015	
Scoping Drawing	A1-3190 Loading Dock Details	02-12-2015	
Scoping Drawing	A1-3192 Loading Dock Details	02-12-2015	
Scoping Drawing	A1-3195 West Loading Dock Master	02-12-2015	
Scoping Drawing	A1-3196 East Loading Dock Master	02-12-2015	
Scoping Drawing	A1-7003 Stair 201 & Elevator PE201 Roof Plan	02-12-2015	
Scoping Drawing	A1-7006 Stair 301 Partial Plans	02-12-2015	
Scoping Drawing	A1-7009 Stair 502 Partial Plans	02-12-2015	
Scoping Drawing	A1-7010 Stair 501, 501A, & 501B Partial Plans	02-12-2015	
Scoping Drawing	A1-7020 Stair 601A & Stair 601B Partial Plans	02-12-2015	
Scoping Drawing	A1-7423 Prefabricated Booth Type 1 Vehicle & Bicycle Ramp Guardhouse Plan & Elevations	02-12-2015	
Scoping Drawing	A1-7575 Typical Elevator Details	02-12-2015	
Scoping Drawing	A1-7576 Typical Service Elevator Details	02-12-2015	
Scoping Drawing	A1-7577 Typical Service Elevator	02-12-2015	
Scoping Drawing	A1-7890 Aluminum Panel Cladding (W-16A) Section Details	02-12-2015	

Scoping Drawing	A1-7897 Tower 201 Roof Section Details	02-12-2015
Scoping Drawing	A1-8168 (SKA-4361) Prefabricated Booth Type 3 Bus Deck Superintendent Station Plan & Elevations	02-12-2015
Scoping Drawing	A1-8171 Aluminum Framed Curtain Wall (W-2) System Details	02-12-2015
Scoping Drawing	A1-8251 Bird Control Devices Grand Hall	02-12-2015
Scoping Drawing	A1-8253 Bird Control Devices Bird Wire System	02-12-2015
Scoping Drawing	A1-8275 Prefabricated Booth Type 2 SFMTA/GGT SamTrans Operations Plan & Elevations	02-12-2015
Scoping Drawing	A1-8615 Portland Cement Plaster Fascia (W-18) System Details	02-12-2015
Scoping Drawing	A1-8660 AESS Matrix and Diagrams	03-18-2015
Scoping Drawing	A1-8661 AESS Matrix and Diagrams	03-18-2015
Scoping Drawing	A1-8690 Cast Node Legend	03-18-2015
Scoping Drawing	A1-8880 Expansion Joint Schedule	02-12-2015
Scoping Drawing	A1-8903 Roof Park Level Restaurant (W-17/W-19/W-16A/W-21) System Sheet	03-18-2015
Scoping Drawing	A1-9000 Typical Mounting Heights of Fixtures/Standard Restroom Layouts	02-12-2015
Scoping Drawing	A1-9041 Public Restroom Typical Details	02-12-2015
Scoping Drawing	A1-9042 Public Restroom Typical Details	02-12-2015
Scoping Drawing	A1-9060 Facilities Restrooms Lower Concourse Level	02-12-2015
Scoping Drawing	A1-9205 Lower Concourse Level Column Cladding Plan Details	02-12-2015
Scoping Drawing	A1-9206 Lower Concourse Level Column Cladding Plan Details	02-12-2015
Scoping Drawing	A1-9207 Lower Concourse Level Column Cladding Plan Details	02-12-2015
Scoping Drawing	A1-9211 Lower Concourse Level Column Cladding Section Details	02-12-2015
Scoping Drawing	A1-9212 Lower Concourse Level Column Cladding Section Details	02-12-2015
Scoping Drawing	A1-9220 Train Platform Level Water Storage Tank Details	02-12-2015
Scoping Drawing	A1-9225 Train Platform Level Mech. Rooms and Sections	02-12-2015
Scoping Drawing	A1-9226 Train Platform Level Mech. Rooms and Sections	02-12-2015
Scoping Drawing	A1-9228 Lower Concourse Level Exit Passageway Sections-Details	02-12-2015
Scoping Drawing	A1-9229 Lower Concourse Level Exit Passageway Sections-Details	02-12-2015
Scoping Drawing	A1-9311 Grand Hall Column Base (W-2) Details Ground Level	02-12-2015
Scoping Drawing	A1-9323 Fire Extinguisher Cabinet Details	02-12-2015
Scoping Drawing	A1-9340 Grand Hall Security & Information Desks	02-12-2015
Scoping Drawing	A1-9601 Room Finish Schedule Train Platform Level Lower Concourse Level	03-31-2015
Scoping Drawing	A1-9602 Room Finish Schedule Lower Concourse Level	02-12-2015
Scoping Drawing	A1-9606 Room Finish Schedule Roof Park Level	02-12-2015
Scoping Drawing	A1-9610 Room Finish Schedule Roof Park Restaurant	02-12-2015
Scoping Drawing	A1-9703 Door Schedule Ground Level	02-12-2015
Scoping Drawing	A1-9704 Door Schedule Second Level	02-12-2015
Scoping Drawing	A1-9705 Door Schedule Bus Deck Level	02-12-2015
Scoping Drawing	A1-9706 Door Schedule Roof Park Level	02-12-2015
Scoping Drawing	A1-9804 Lower Concourse Level SOM, SCC, UPS, Tech Office, Tech Support Room Enlarged Plan	02-12-2015

Document		
Reference	cope Specific RFI's 05-18-	2015
Elevated Work Platform	Elevated Work Platform Requirements 02-12-	2015
Scoping Drawing	1-9003 Typical CMU Details02-12-	2015
Scoping Drawing	1-9002 Typical CMU Details 02-12-	
Scoping Drawing	1-9001 Typical CMU Details 02-12-	
Scoping Drawing	1-9000 Typical CMU Details 02-12-	2015
Scoping Drawing	1-6009 Light Column Details 02-12-	
Scoping Drawing	1-4202 Typical Moment Frame Connection Details03-18-	2015
Scoping Drawing	1-4201 Typical Moment Frame Connection Details03-18-	2015
Scoping Drawing	1-4003 Building South Elevation Between Gridlines 6-1202-12-	2015
Scoping Drawing	1-2701 Roof Park Restaurant – Roof Park Framing Plan 03-18-	2015
Scoping Drawing	1-2351 Ground Level – Partial Plans at Loading Dock 02-12-	2015
Scoping Drawing	A-0035 Door Frame Types 02-12-	2015
Scoping Drawing	-0034 Typical Suspended Lay-In Panel Ceiling Details 02-12-	2015
Scoping Drawing	-0033 Typical Suspended Interior Gypsum Board Ceiling Details 02-12-	2015
Scoping Drawing	A-0032 Typical Common Interior Ceiling Details 02-12-	2015
Scoping Drawing	A-0031 Metal Stud Details 02-12-	2015
Scoping Drawing	A-0030 Typical Metal Stud Details 02-12-	2015
Scoping Drawing	-0029 Conceptual Typical Interior Soffit & Ceiling Details 02-12-	2015
Scoping Drawing	A-0028 Conceptual Typical Interior & Exterior Metal Stud Details 02-12-	2015
Scoping Drawing	A-0027 Conceptual Typical Interior & Exterior Metal Stud Details 02-12-	2015
Scoping Drawing	A-0026 Typical Details 02-12-	2015
Scoping Drawing	A-0024 Typical Details 02-12-	2015
Scoping Drawing	A-0022 Partition Schedule 02-12-	2015
Scoping Drawing	A-0021 Partition Schedule 02-12-	2015
	A-0020 Partition Schedule 02-12-	2015
Scoping Drawing Scoping Drawing Scoping Drawing	A-0021 Partition Schedule 02-12	2-: 2-:

<u>A B ....E</u>

This General Contractor is responsible for reviewing and coordinating its work with all supplementary information provided.

The Supplementary Documents are available for download on the following FTP website:

TG16.0 - https://webcor.box.com/s/1yvh3aix9h12nylosj4cyar2hawix31q

Password: WebcorBid!

#### END OF SUPPLEMENTAL DOCUMENTS LIST

#### ATTACHMENT 1 BID FORM AND SCHEDULE OF BID PRICES

#### TO THE TJPA EXECUTIVE DIRECTOR

In response to the Advertisement for Bids for the following public work:

#### TG16.0 – Interiors/Finishes

The undersigned Bidder hereby proposes and agrees to execute the required contract, shall it be awarded to said Bidder, and to do all the work and furnish all the materials therefor, all in accordance with the Specifications and Drawings referred to in said Advertisement for Bids and at the prices named in the attached Schedule of Bid Prices.

The undersigned declares: That it is the Bidder (or by holding the position below indicated is authorized to execute this Bid Form on behalf of the Bidder); that said Bidder submits this Bid; that said Bidder has not, nor have any of its agents, officers, representatives or employees, been guilty of collusion with any officer or representative of Webcor/Obayashi Joint Venture or the TJPA, or with any other party or parties in the submission of this Bid; nor has said Bidder received any preferential treatment by any officer or employee of Webcor/Obayashi Joint Venture or the TJPA in the making or submitting of this Bid. The undersigned declares under penalty of perjury that all representations made on this Bid Form are true and correct.

	Executed on	20
Telephone Number	Name of Firm or Corporation	n
	Bidder or Authorized Repres	sentative
	Position in Firm or Corporate	ion
S.F. Business Tax Registration Certificate Number	Address of Firm or Corporat	ion Zip Code
Certificate Number	Contractor's California Licer	1se No.:
	License Expiration Date:	

BOND OR CHECK REQUIRED: There is herewith attached, as required by law, bid security in accordance with Project Bidding Manual.

NONDISCRIMINATION IN CONTRACTS AND SMALL BUSINESS ENTERPRISE PROGRAM: Provisions of chapter 12B (including its implementing Rules and Regulations) of the San Francisco Administrative Code, and the TJPA Small Business Enterprise Program are incorporated herein and by reference made a part of the Bid Sections as though fully set forth. The Bidder and all lower-tier subcontractors and suppliers shall comply with these provisions and shall submit all required sections in a timely manner.

#### SCHEDULE OF BID PRICES TG16.0 – Interiors/Finishes

Name of Bidder:

## <u>D B A</u>

The undersigned, having examined all referenced documents and the Drawings, understanding the terms and conditions of the Contract Documents and the local conditions affecting the performance and costs of the Work, and having fully inspected the Site in all its particulars, hereby proposes and agrees to fully perform the Work as indicated on the Drawings and in accordance with the requirements of the Contract Documents within the time stated therein, and for the following price(s):

No.	Item Description	Unit of Measure	Bid Price
Below (	Below Ground Level		
1	General	LS	
2	Temporary Protection – Doors and Door Frames	LS	
3	Temporary Protection – Millwork	LS	
4	Temporary Protection - Tile	LS	
5	Masonry	LS	
6	Walls and Ceilings	LS	
7	Doors, Frames, and Hardware	LS	
8	Coatings	LS	
9	Ceramic Tile	LS	
10	Flooring	LS	
11	Architectural Woodwork	LS	
12	Specialties	LS	
13	Final Cleaning	LS	

Groun	d Level and Above		
14	General	LS	
15	Temporary Protection – Doors and Door Frames	LS	
16	Temporary Protection – Millwork	LS	
17	Temporary Protection - Tile	LS	
18	Masonry	LS	
19	Walls and Ceilings	LS	
20	Cladding	LS	
21	Doors, Frames, and Hardware	LS	
22	Coatings	LS	
23	Ceramic Tile	LS	
24	Flooring	LS	
25	Architectural Woodwork	LS	
26	Prefabricated Buildings	LS	
27	Specialties	LS	
28	Work Platform	LS	
29	Final Cleaning	LS	
30	Roof Park Level Restaurant Building (General; Temporary Protection; Masonry; Walls and Ceilings; Cladding; Doors, Frames, and Hardware; Coatings; Ceramic Tile; Flooring; Architectural Woodwork; Specialties; Final Cleaning)	LS	

TOTAL BASE BID PRICE (Sum of Items 1+2+3+4+5+6+7+8+9+10+11+12+13+14+15+16+17+18+19+ 20+21+22+23+24+25+26+27+28+29+30)	
PERFORMANCE AND PAYMENT BOND RATE (This is for informational purposes only)	%
POTENTIAL PAYMENT AND PERFORMANCE BOND COST (Total Base Bid Price x Bond Rate; this is for informational purposes only)	\$

<u>A B D</u>

Bidder shall furnish a price for all Bid items, set forth in the Schedule of Bid Prices. Failure to furnish a price for all items set forth in the Schedule of Bid Prices shall render the Bid non-responsive and will be cause for its rejection. If an item is left blank, the price shall be assumed to be zero (\$0.00).

In case of discrepancy between the sum of Bid item amounts and the Total Base Bid Price, the sum of said amounts shall prevail. In case of discrepancy between words and figures, the words shall prevail.

Accepted VE Proposals, if any, shall be deducted from the Total Base Bid Price to determine the Bidder's Total Bid Price.

Bidder acknowledges and agrees that this Bid, if not withdrawn prior to the scheduled time for receipt of Bids, shall not be withdrawn for a period of 90 days thereafter.

Total Bid Price: \$

In Written Words:

Bid submitted by:

(seal) Name of Firm, Corporation, Partnership or Joint Venture	
Names of All Partners, if Partnership	State of Incorporation, if Corporation
Signature of Bidder or Authorized Representative	Date of Bid

Name and Title of Authorized Representative

Note: If Bidder is a corporation, set forth the legal name of the corporation together with the signature of the officer or officers authorized to sign contracts on behalf of the corporation. If Bidder is a partnership, set forth the name of the firm together with the signature of the partner or partners authorized to sign contracts on behalf of the partnership. A corporate authority document which indicates individual is authorized to execute bid documents on behalf of the Firm, Corporation, Partnership or Joint Venture shall be attached.

## END OF BID FORM AND SCHEDULE OF BID PRICES

## **ATTACHMENT 2 LOGISTICS**

The following attached drawings present the conceptual logistical as-built plans. Locations and configurations are for reference and subject to change:

SL-001 Site Logistics Plan dated 03/05/2014 SL-002 Site Truck Routing Plan dated 03/22/2012 SL-025 Site Logistics Construction Zones dated 05/28/2014 SL-027 Rooftop Obstructions – For Reference Only dated 12/05/2013 A101 Personnel and Material Hoist Layout – Bracing dated 12/20/2013 A102 Personnel and Material Hoist Layout – Lower Concourse dated 12/20/2013 A103 Personnel and Material Hoist Layout – Ground Level dated 12/20/2013 A104 Personnel and Material Hoist Layout – Second Level dated 12/20/2013 A105 Personnel and Material Hoist Layout – Bus Deck Level dated 12/20/2013 A106 Personnel and Material Hoist Layout – Roof Level dated 12/20/2013 A107 Personnel and Material Hoist #1 Location dated 12/20/2013 A108 Personnel and Material Hoist #2 Location dated 12/20/2013 A109 Personnel and Material Hoist #3 Location dated 12/20/2013 A109 Personnel and Material Hoist #4 Location dated 12/20/2013 A110 Personnel and Material Hoist #4 Location dated 12/20/2013 A108 Temporary Platform dated 02/15/2013

#### **END OF LOGISTICS**

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# **ATTACHMENT 3 TEMPORARY PROTECTION - TILE**

This additional requirement shall supplement temporary protection requirements as specified in referenced Specification Sections under all referenced Sub-section Tile/Flooring Base flooring system in this trade package. This temporary protection shall not relieve this Trade Subcontractor from the full responsibility of replacing any damaged area in kind at no additional cost to the Owner.

This Trade Subcontractor shall furnish, install and maintain temporary protection as follows:

- A. Temporary Protection
  - 1. Upon Completion of the Tile/Flooring/base system through Substantial Completion of the Transit Center Building, furnish, install and maintain temporary protection to prevent damage to the flooring and wall systems including but not limited to: scratches, chipping, cracking or damage to the material.
  - 2. Install protection material as a minimum on the tile floors and tile walls up 4 feet above finish floor to include Skudo Tack-Mat System which is 1 part peel and stick or approved equal and consists of the following:
    - i. This protection system shall not trap harmful moisture or otherwise contaminate the installed work.
    - ii. In addition, install <sup>1</sup>/<sub>2</sub>" Coreplastic panels or approved equal fully taped over Tack-Mat at floor only.
  - 3. Prevent access onto the Tile floor of all people and equipment unless a protective pathway is installed for such a purpose. Limit access to the flooring to persons installing the floor only. Coordinate with WOJV.
  - 4. Do not store any materials on the Tile floors.
  - 5. The tile flooring system shall be final cleaned per the contract documents prior to installing the protection and after removal of the protection by the selected Trade Subcontract. This Trade Subcontractor shall peel, remove in its entirety and dispose the post-consumer recycled plastic temporary protection system from all protected surfaces prior to final cleaning.
- B. Trade subcontractor shall prepare temporary protection plan and submit for approval prior to QC Preparatory Meeting.

## END OF TEMPORARY PROTECTION - TILE

## ATTACHMENT 4 TEMPORARY PROTECTION – MILLWORK

This additional requirement shall supplement temporary protection requirements as specified in referenced Specification Sections under all referenced Millwork system in this trade package. This temporary protection shall not relieve this Trade Subcontractor from the full responsibility of replacing any damaged area in kind at no additional cost to the Owner.

This Trade Subcontractor shall furnish, install and maintain temporary protection as follows:

- C. Temporary Protection
  - 1. Upon Completion of the Millwork through Substantial Completion of the Transit Center Building, furnish, install and maintain temporary protection to prevent damage to the Millwork including but not limited to: scratches, chipping, cracking or damage to the material.
  - 2. Install protection material as a minimum to include Skudo Commercial Mat System Tack-Mat LT or approved equal and consists of the following:
    - i. This protection system shall not trap harmful moisture or otherwise contaminate the installed work.
  - 3. Install on the base cabinets and countertops.
  - 4. Prevent placing any equipment against millwork unless a protective pathway is installed for such a purpose.
  - 5. Do not store any materials on the counters.
  - 6. All millwork shall be final cleaned per the contract documents prior to installing the protection and after removal of the protection by the selected Trade Subcontract. This Trade Subcontractor shall peel, remove in its entirety and dispose the post-consumer recycled plastic temporary protection system from all protected surfaces prior to final cleaning.
- D. Trade subcontractor shall prepare temporary protection plan and submit for approval prior to QC Preparatory Meeting.

# END OF TEMPORARY PROTECTION – MILLWORK

## ATTACHMENT 5 TEMPORARY PROTECTION – DOORS AND DOOR FRAMES

This additional requirement shall supplement temporary protection requirements specified under Specification Sections for TG16.0 bid package.

This temporary protection shall not relieve this Trade Subcontractor from the full responsibility of replacing any damaged area in kind at no additional cost to the Owner.

Furnish, install and maintain temporary protection at all metal door frames and doors as shown on the scope door schedule and as follows:

#### E. Temporary Protection

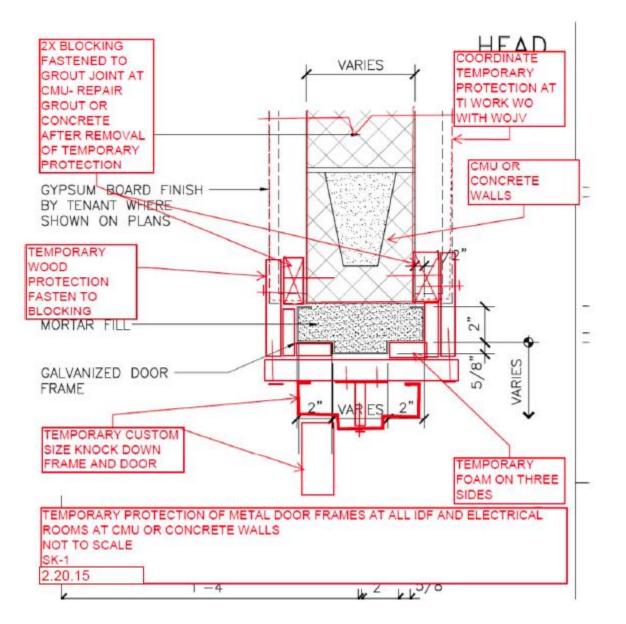
- 1. Furnish, install and maintain temporary protection to prevent damage to all metal door frames and doors including but not limited to: dings, dents, scratches, chipping, cracking or damage to the textured surface. This protection shall be installed immediately upon installation of the frame and shall remain in place until substantial completion or until directed by Webcor Obayashi Joint Venture in writing.
- 2. Protection may be required to be installed in multiple phases due to certain portions of the door frames receiving acceptance by other trade subcontractor prior to their work.
- 3. Temporary protection shall be installed in a manner to withstand impacts by workers, push carts, ladders, hand tools and pallet jacks.
- 4. At all hollow metal and stainless steel door frame openings and doors, provide the following:
  - i. At galvanized hollow metal frames shown at CMU, concrete walls or metal stud framing assemblies, except as noted below:
    - a) Immediately after door frames installation, wrap both sides of hollow metal door frames with 6 foot high, heavy-duty door jamb protection such as "Ram Board" or approved equal, except at IDF and Electrical rooms as noted below. All doors shall be installed at later date per schedule or as directed in writing by Webcor Obayashi Joint Venture.
  - ii. At galvanized hollow metal frames shown at CMU or concrete walls at all IDF and Electrical rooms:
    - a) Immediately after door frame installation, wrap all sides of hollow metal door and as shown on attached sketch SK-1. Provide blocking or shims to fasten temporary protection to wall. Lockable hardware at IDF and Electrical Rooms shall be keyed alike, but shall be different than the remaining lockable barriers. Furnish 20 each keys for lockable hardware to Webcor Obayashi Joint Venture.
    - b) After installation of permanent door frame and associated protection, furnish and install temporary custom size inset knock down frames, doors, and lockable finish hardware at all IDF and Electrical Rooms.
    - c) Temporary protection shall be installed in a way that does not conflict with door hardware or operations of the doors, nor cause any damage to the permanent door frame assembly.
    - d) All doors shall be installed at later date per construction schedule or as directed in writing by Webcor Obayashi Joint Venture.
  - iii. At stainless steel door frames shown with metal stud framing wall assemblies:
    - a) Immediately after door frame installation and before stud framing and sheet rock is installed, wrap frame with custom temporary wood protection per SK-2 without temporary door provision. At IDF and Electrical rooms, provide temporary door protection as per attached sketch SK-2.

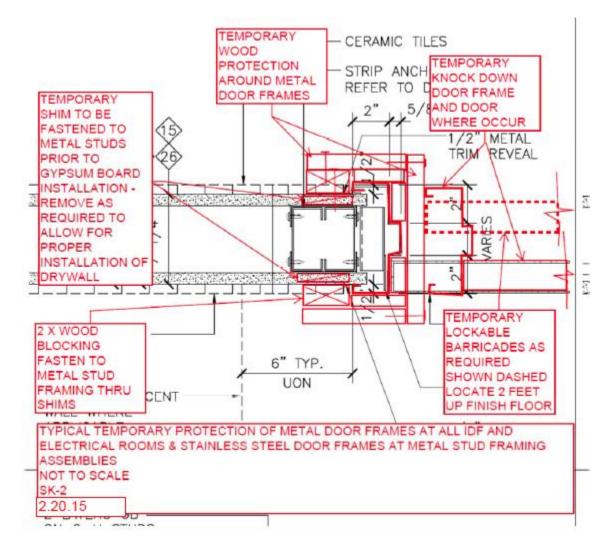
- b) Coordinate with other Trade Subcontractors to remove shims and adjust temporary protection as required before drywall installation or finish panels.
- c) All doors shall be installed at later date per schedule or as directed in writing by Webcor Obayashi Joint Venture.
- d) At IDF and Electrical rooms, provide temporary door protection as per attached sketch SK-2.

After installation of permanent door frame and associated protection, furnish and install temporary custom size inset knock down frames, doors, and lockable finish hardware. Lockable hardware at IDF and Electrical Rooms shall be keyed alike, but shall be different than the remaining lockable barriers.

- e) Temporary protection shall be installed in a way that does not conflict with door hardware or operations of the doors, nor cause any damage to the door frame assembly.
- iv. Temporary Door Protection:
  - a) All doors shall be installed at later date per construction schedule or as directed in writing by Webcor Obayashi Joint Venture.
  - b) Once doors are installed after direction by Webcor Obayashi Joint Venture, furnish, install and maintain temporary protection such as Skudo LT Tack-Matt or approved equal on both sides of all doors until final sign-off.
- F. Temporary Protection General Requirements
  - 1. Maintain all temporary protection and repair or replace until substantial completion or as directed in writing by Webcor Obayashi Joint Venture.
  - 2. All door frames and doors shall be cleaned by this Trade Subcontractor prior to installing temporary protection and after removal of the protection by this Trade Subcontractor.
  - 3. Repair damaged adjacent surfaces after removal of temporary protection to match adjacent wall surfaces.
  - 4. This Trade Subcontractor shall remove in its entirety and dispose of the temporary protection systems from all protected surfaces including but not limited to temporary doors, door frames and hardware as directed in writing by Webcor Obayashi Joint Venture.
  - 5. Damaged hollow metal door frames shall be repaired as required per contract documents. If stainless steel door frames or doors are damaged, replace in their entirety to meet the requirements of the contract documents. Damaged doors shall be replaced in their entirety to meet the requirements of the contract documents.
  - 6. The selected Trade Subcontractor shall remove and dispose of the protection at Substantial Completion of the Transit Center Building, or earlier at the direction of Webcor/Obayashi Joint Venture. At this time, the selected Trade Subcontractor will be responsible for any repairs or touch-up due to damage or replacement if section of the finished work is deemed unrepairable. This Trade Subcontractor shall clean the protected materials after removal of all temporary protection.
- G. Within 90 days of the contract date, Trade subcontractor shall prepare temporary protection plan and submit for approval.

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# END OF TEMPORARY PROTECTION – DOORS AND DOOR FRAMES

QC Assistant Responsibil	ity M	atrix 2.25.15	
ITEM	QC Assistant	Task Due	To WOJV QC
QC Tasks	1	Γ	
General: Primary responsibility of QC Assistant is document control of all quality records generated by QC team as required per contract and not limited to the following tasks as noted below.	x		
Phase I - Preparatory			WOJV QC
Email Preparatory Meeting Agenda	x	As required per schedule	WOJV QC
Email Preparatory Meeting Minutes and attached documents	x	As required per schedule	WOJV QC
DFOW sign-off Checklists ( based on weekly DFOW meetings occurring each week)	x	Weekly	WOJV QC
Phase II - Initial			WOJV QC
Email Initial Meeting Agenda	x	As required per schedule	WOJV QC
Email Initial Meeting Minutes	x	As required per schedule	WOJV QC
Phase III - Follow-up			WOJV QC
Coordinate scheduling meetings with WOJV QC Assistant for all DFOW's	x		
Email Daily QC Reports (Super QC Specialists and Trade QC Mgr)		By End of Day Friday.	WOJV QC
QC Manager	х		WOJV QC
QC Specialists:			
QC Specialist 1	х	Daily	WOJV QC
QC Specialist 2	х	Daily	WOJV QC
QC Specialist 3	Х	Daily	WOJV QC
QC Specialist 4	х	Daily	WOJV QC
1. Email sign-off checklists for each DFOW element	x	As required per schedule	WOJV QC

# ATTACHMENT 6 QC ASSISTANT RESPONSIBILITY MATRIX

2. Transmit all Materials ID Reports	x	As required per schedule	WOJV QC
3. Materials Test Reports	x	As required per schedule	WOJV QC
4. Inspection Requests ( by Trade QC Mgrs)	x	As required per schedule	WOJV QC
5. Manage BIM 360 Inspection requests (upload documents to close out FCR's and NCR's)	x	Daily	BIM 360
6. BIM 360 Inspection Requests monitoring and tracking	x	Daily	

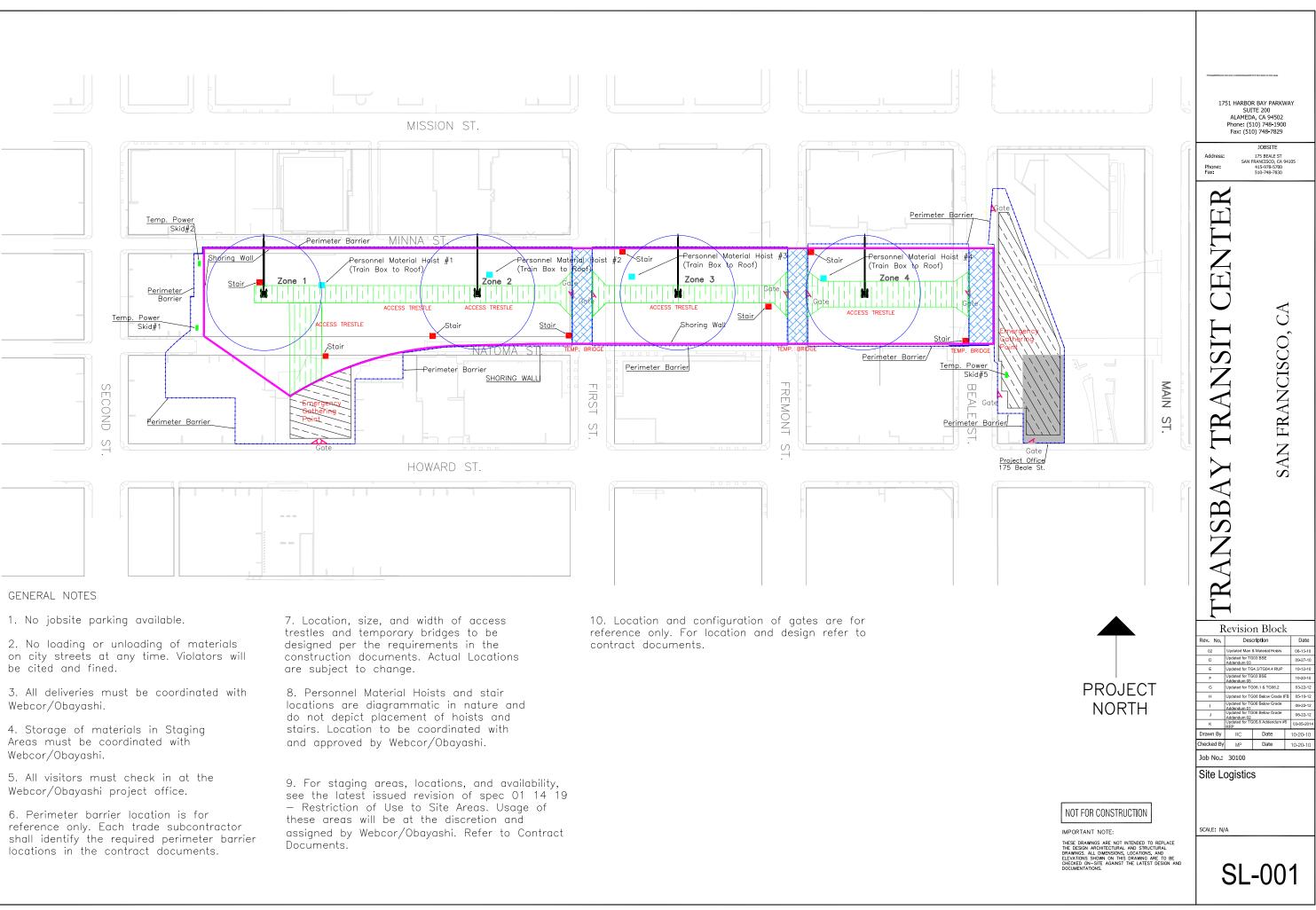
# END OF QC ASSISTANT RESPONSIBILITY MATRIX

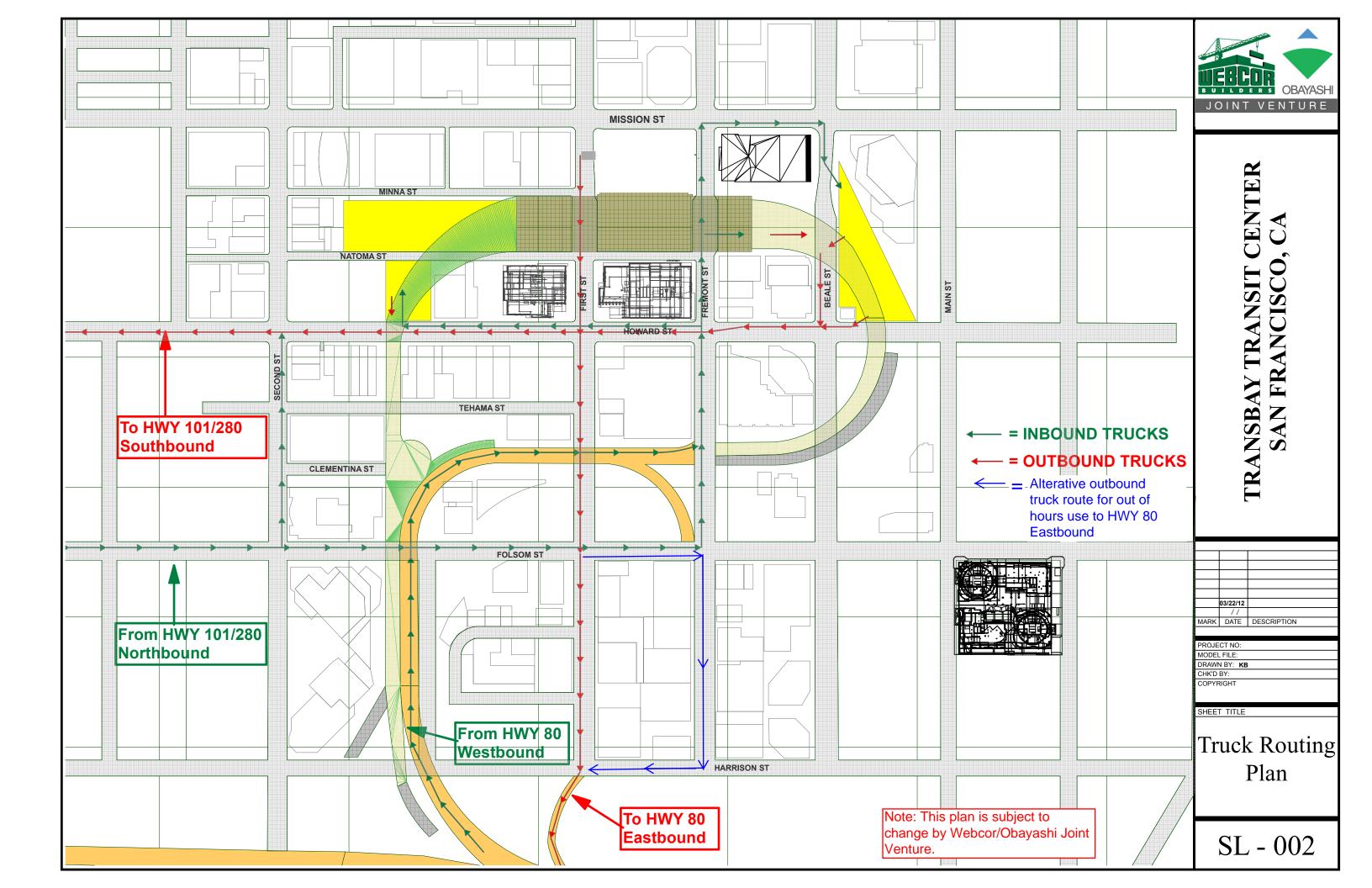
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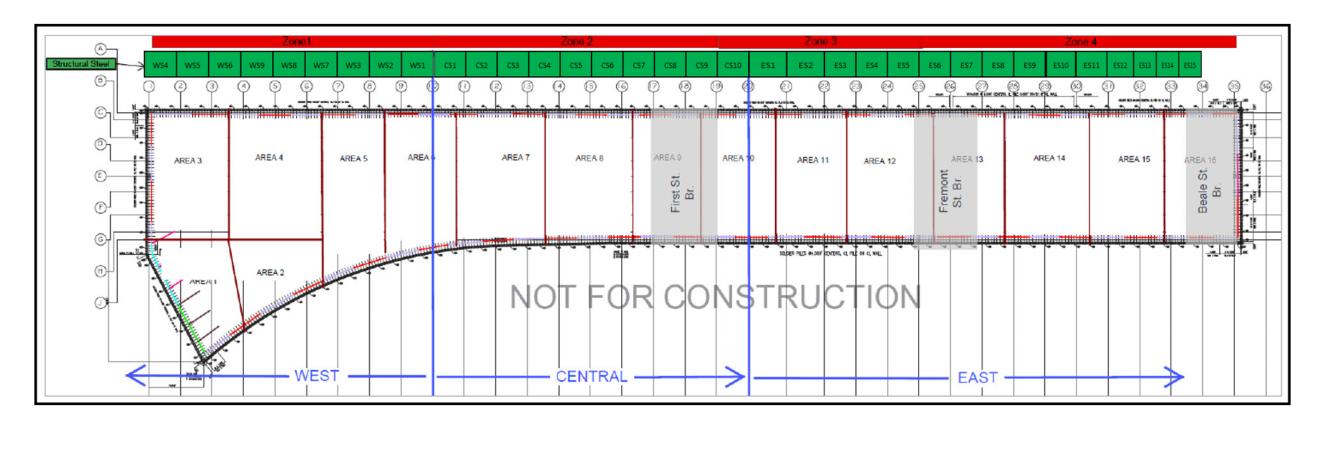
# **ISSUANCE LOG**

REV No.	ISSUE	DATE
0	Issued For Bid TG16.0	2015-02-12
А	Addendum #1	2015-03-18
В	Addendum #2	2015-03-31
C	Addendum #3	2015-04-22
D	Addendum #4	2015-05-07
E	Addendum #5	2015-05-18

# END OF EXHIBIT A





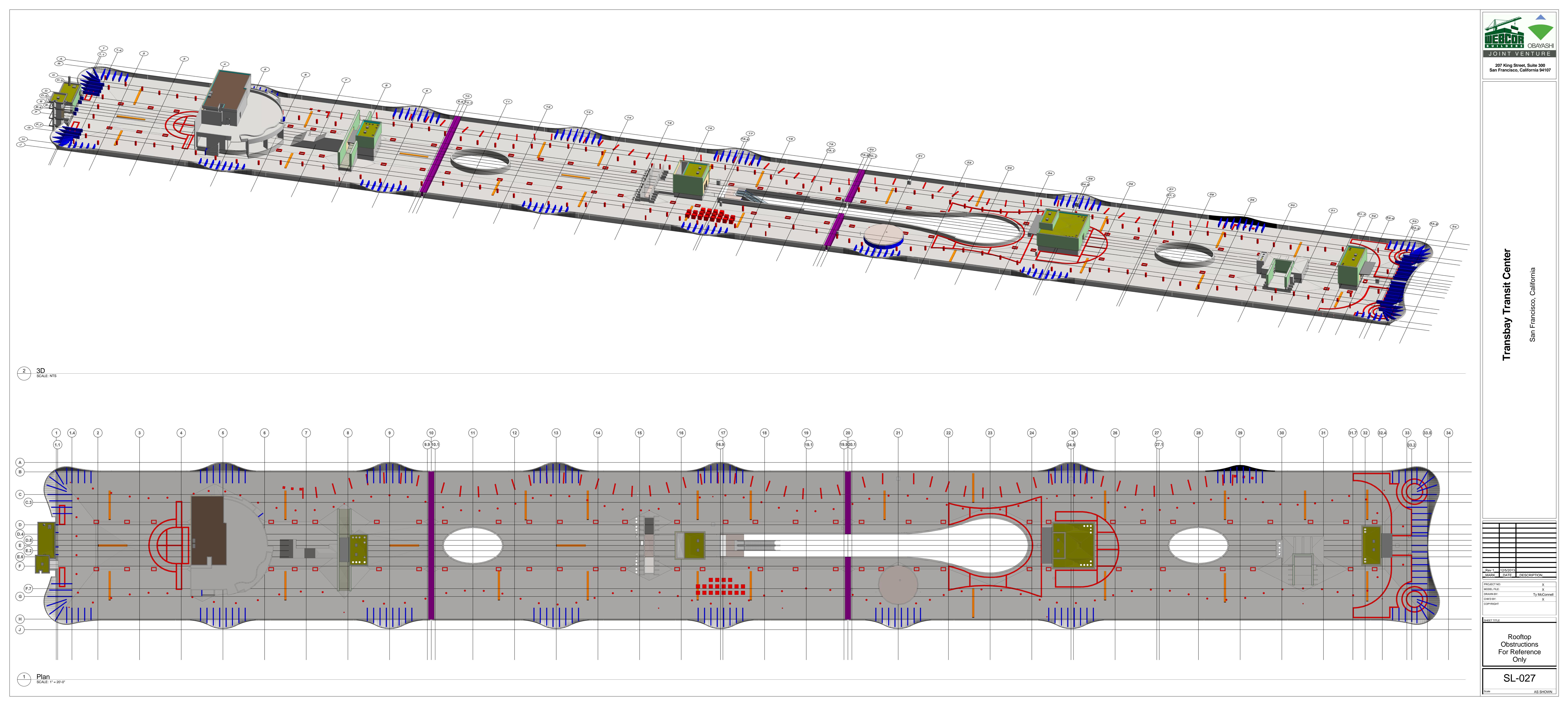


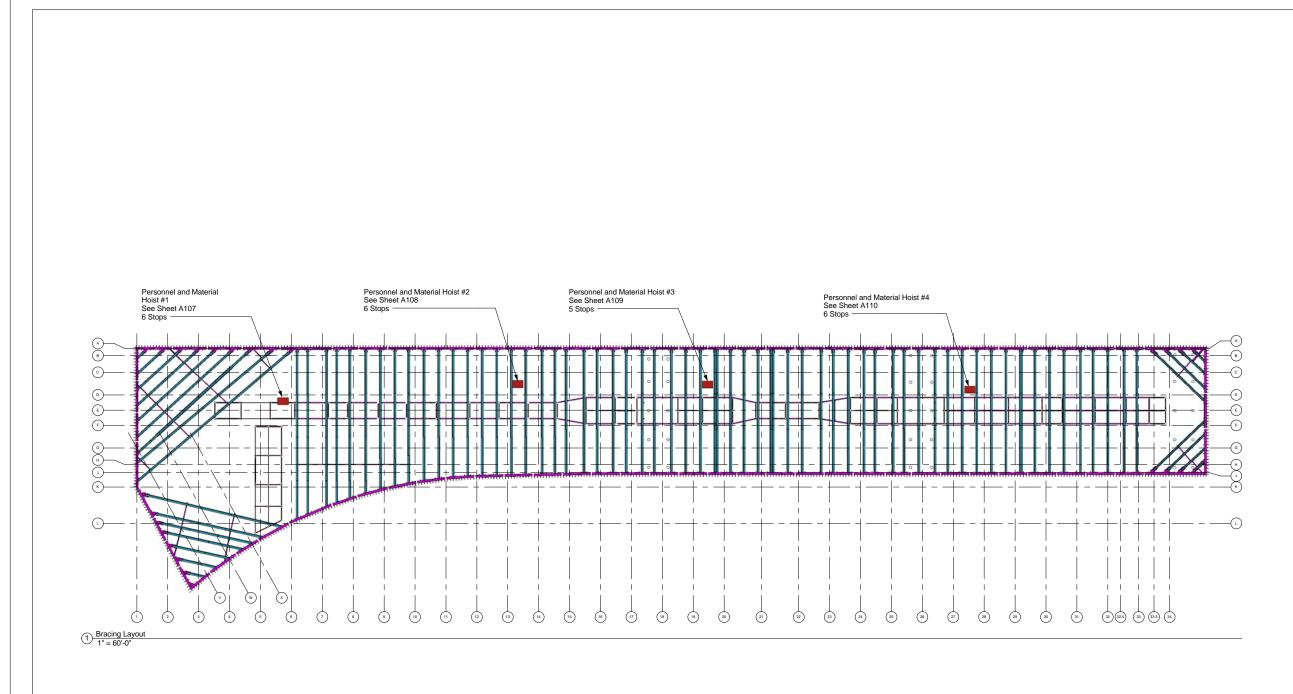


#### NOT FOR CONSTRUCTION

IMPORTANT NOTE:

THESE DRAWINGS ARE NOT INTENDED TO REPLACE THE DESIGN ARCHITECTURAL AND STRUCTURAL DRAWINGS. ALL DURINSIONS, LOCATIONS, AND ELEVATIONS SHOWN ON THIS DRAWING ARE TO BE CHECKED ON-SITE AGAINST THE LATEST DESIGN AND DOCUMENTATIONS.

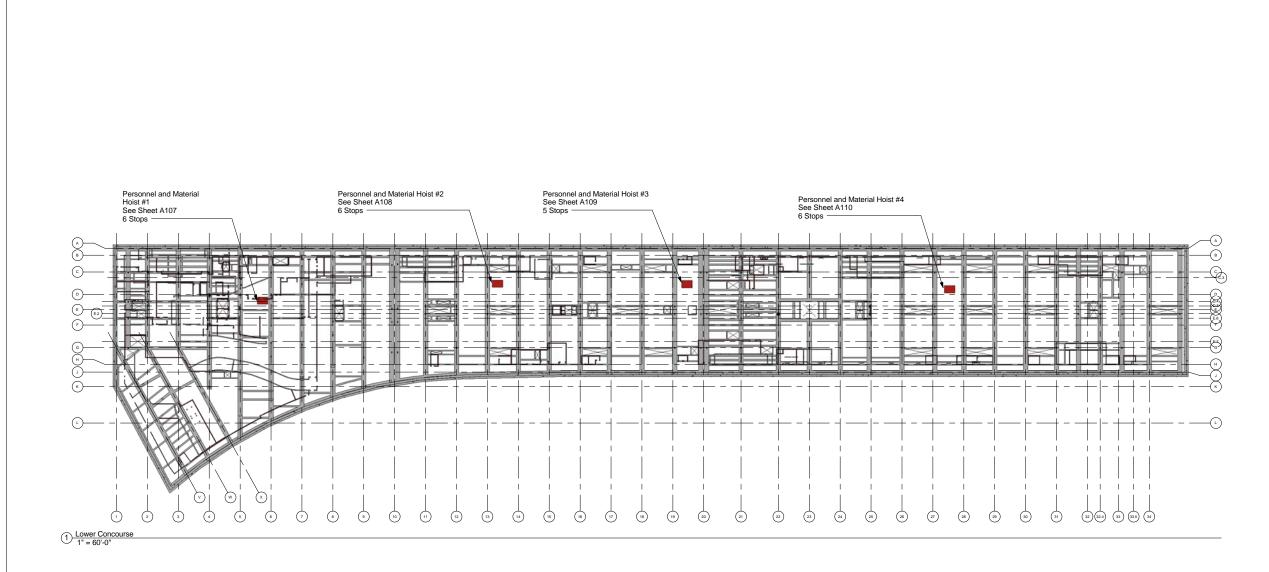




NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

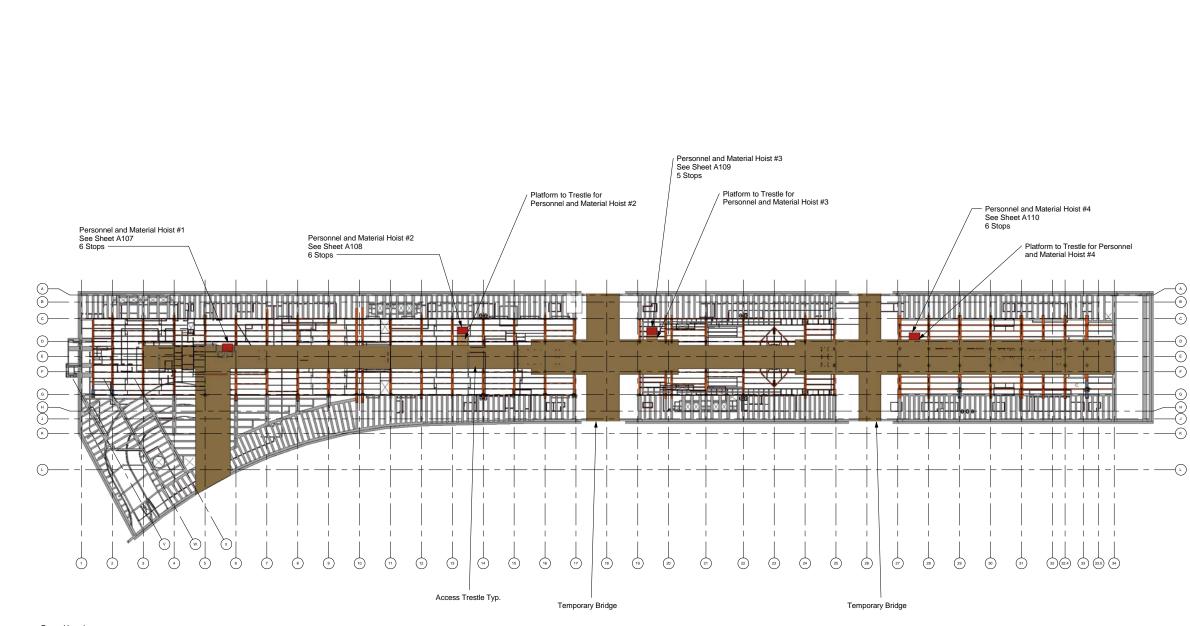
Jo		OBAYASHI V E N T U R E Pale Street uncisco, CA
	<b>Fransbay Transit Center</b>	San Francisco, CA
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R1 R2	12/16/2013 12/20/2013	
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	-	DESCRIPTION
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#### NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.





# () Ground Level 1" = 60'-0"

#### NOTES:

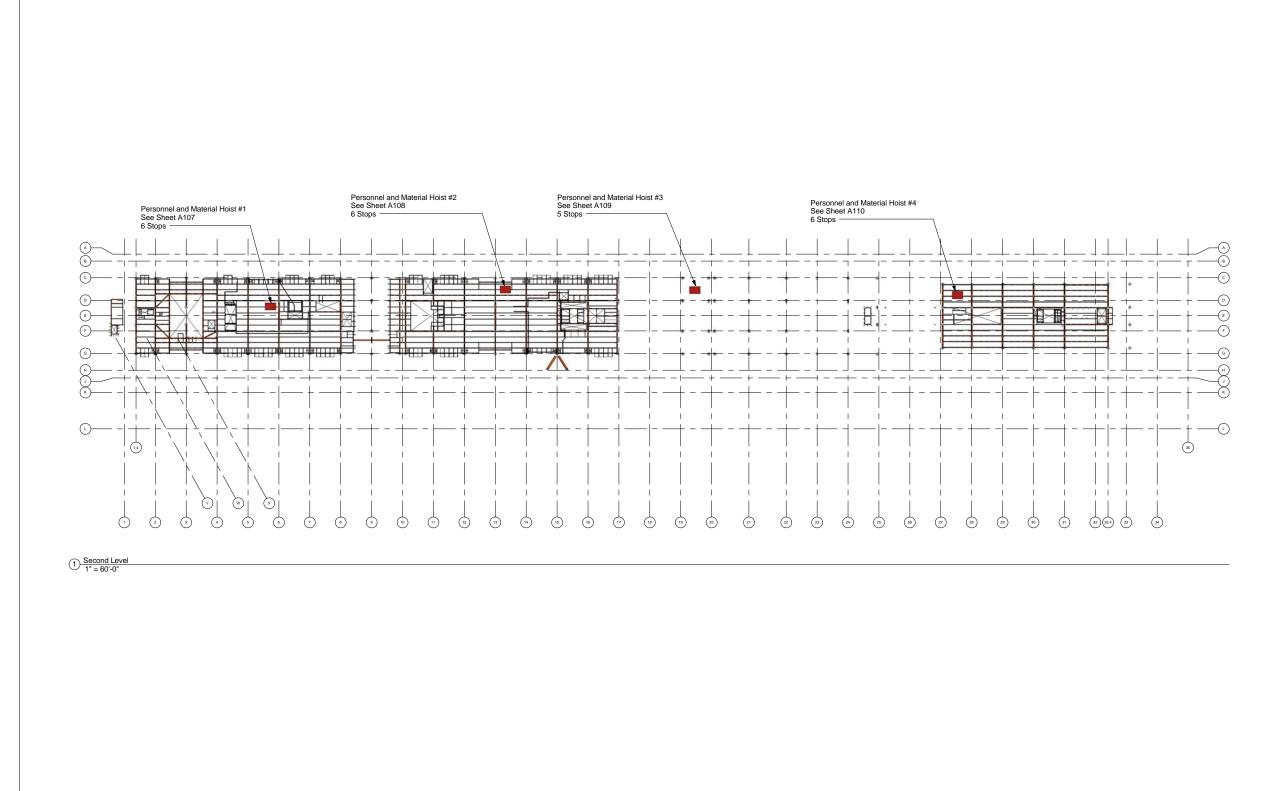
1. Personnel and Material Hoists #2, #3, and #4 platforms to be removed when trestle is removed in surrounding area.

2. Personnel and Material Hoist #1 to be installed after trestle and temporary bracing has been removed.

#### NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

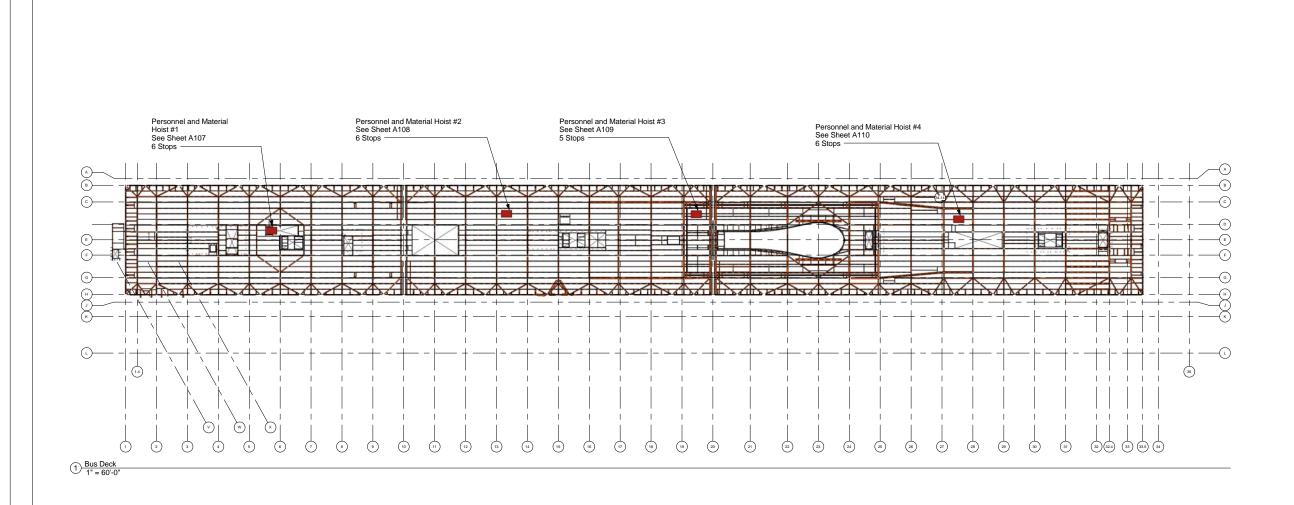
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	ransbay Transit Center	San Francisco, CA
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R2 MARK	12/20/2013	DESCRIPTION
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NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

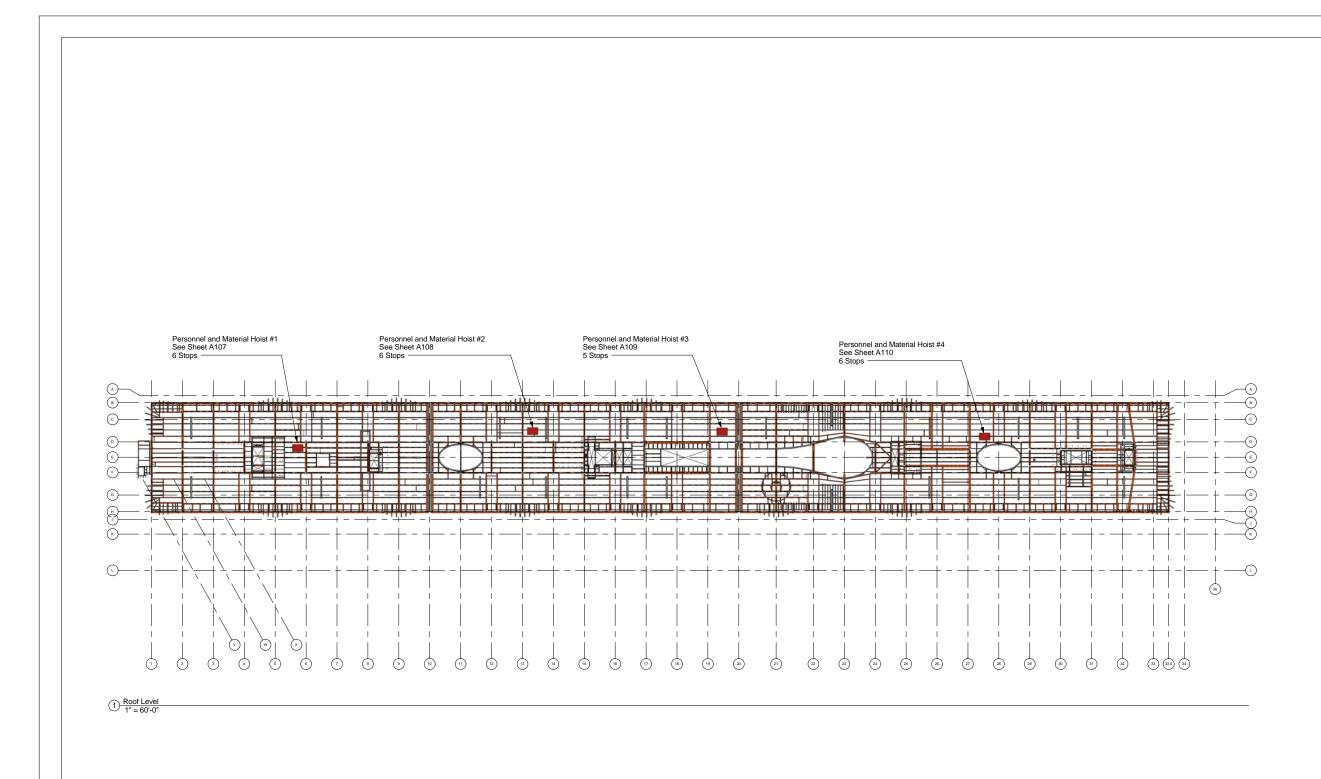
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	Transbay Transit Center	San Francisco, CA
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#### NOTE:

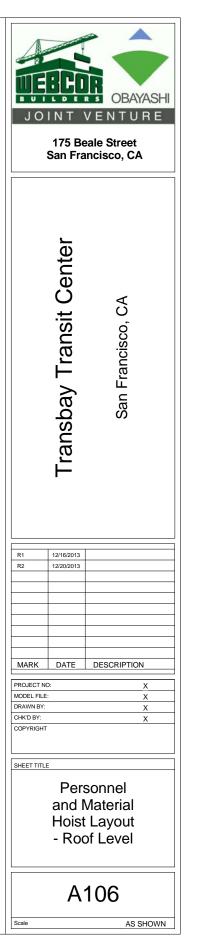
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

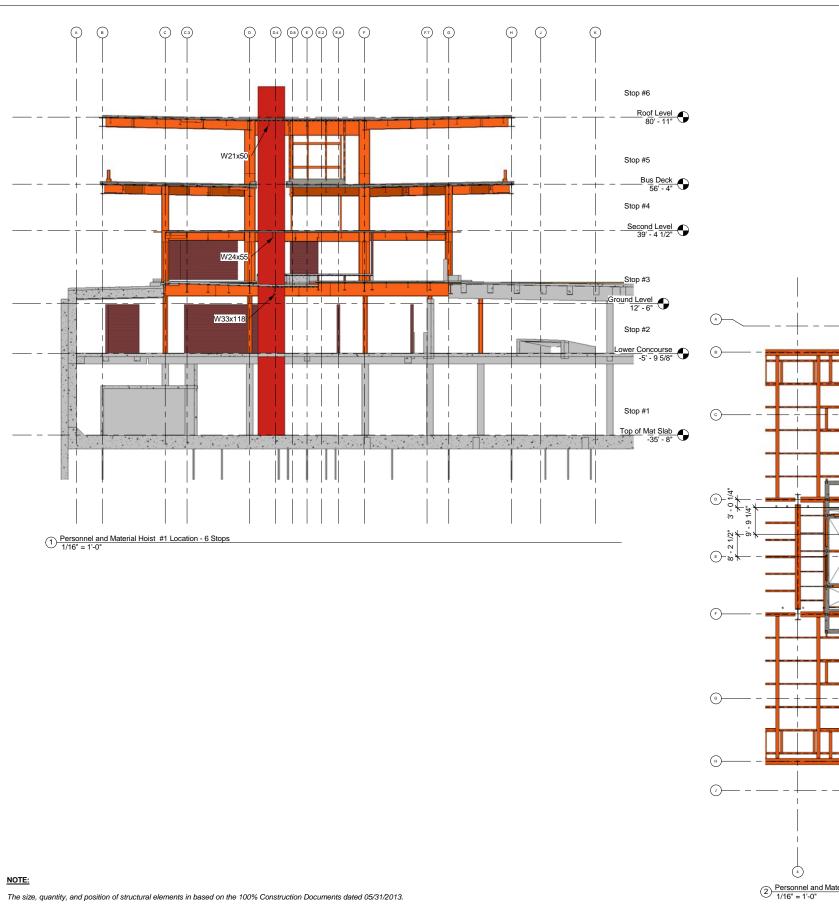
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	Transbay Transit Center	San Francisco, CA
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The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

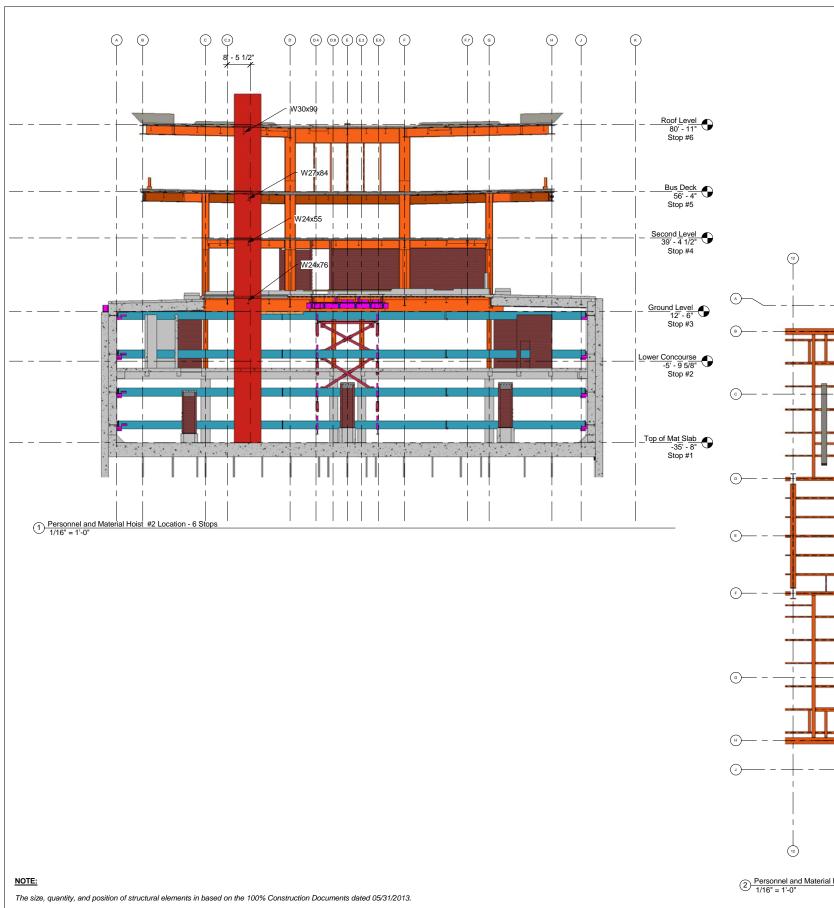
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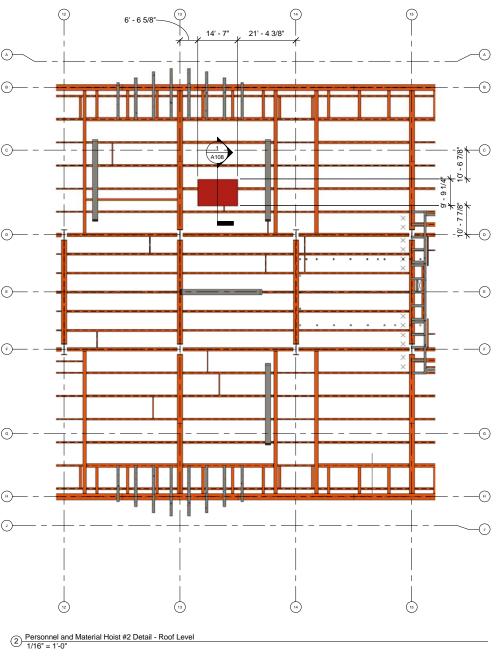




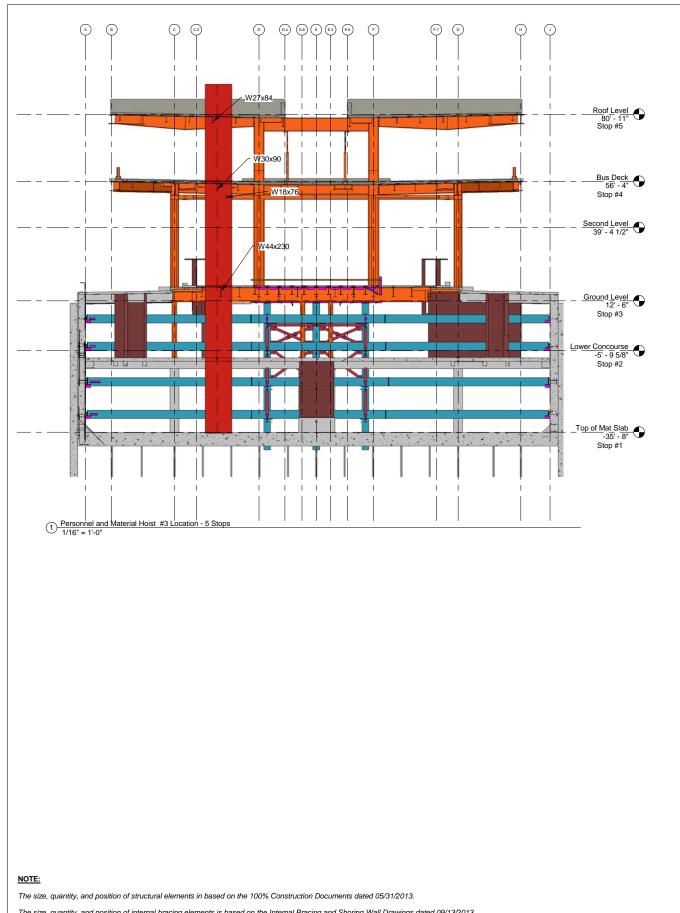


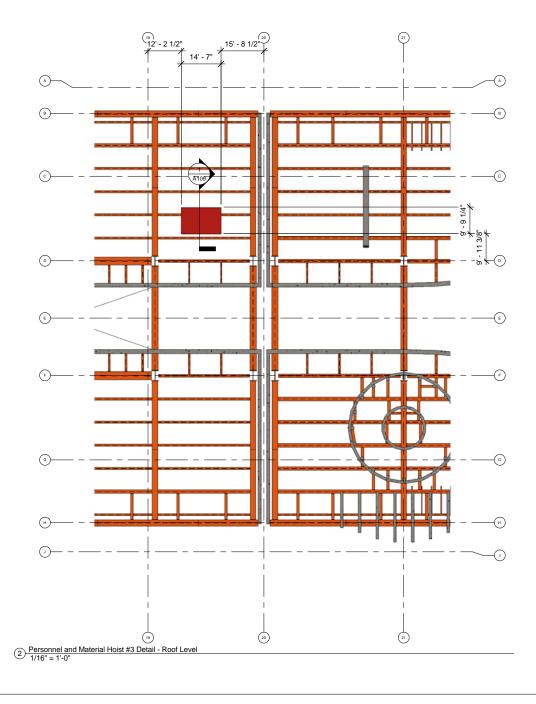
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	Transbay Transit Center	San Francisco, CA
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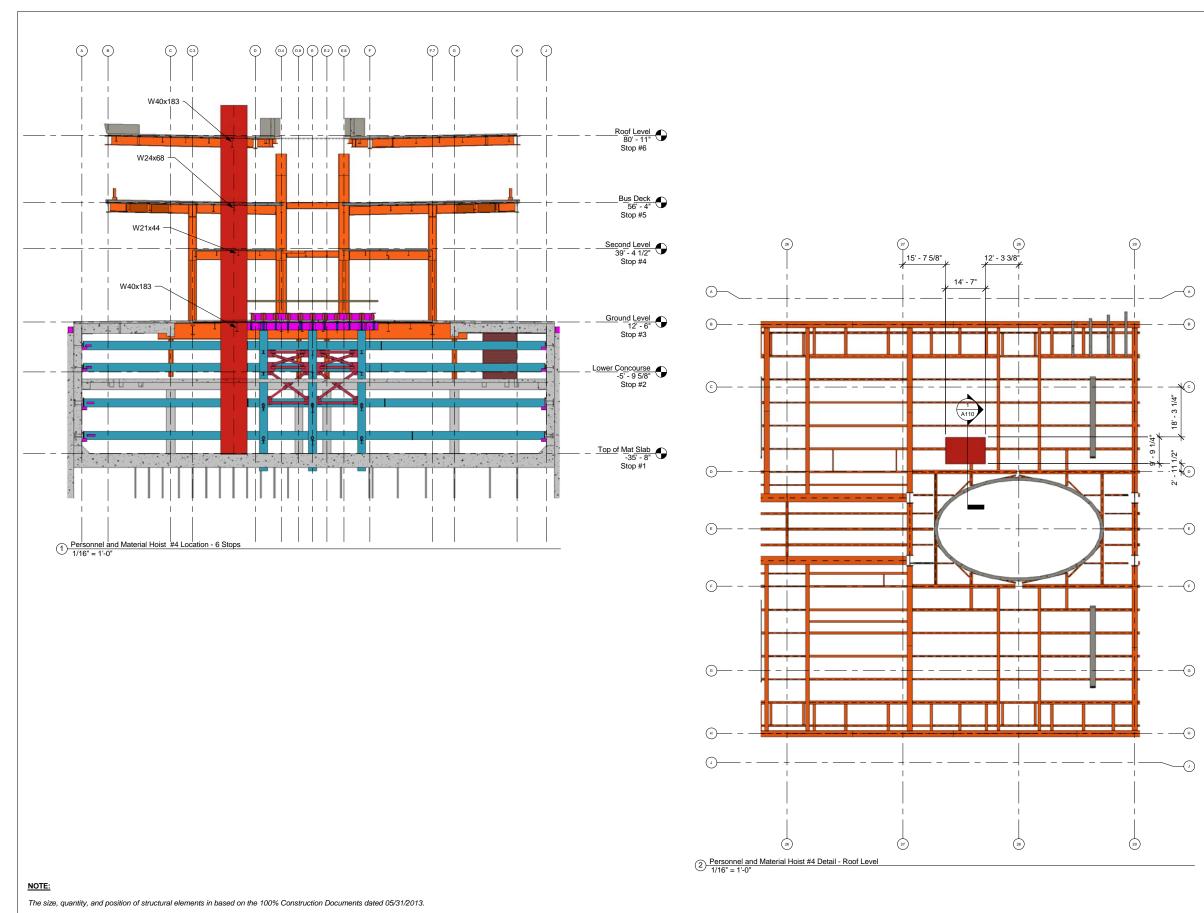


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	Loc	cation





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	ransbay Transit Center	San Francisco, CA
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The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.

JO		OBAYASHI V E N T U R E Paale Street ancisco, CA
	Transbay Transit Center	San Francisco, CA
	12/16/2013	
R1 R2	12/20/2013	
	12/20/2013	
R2		DESCRIPTION
	DATE	DESCRIPTION
R2 MARK	DATE	
R2 MARK PROJECT N MODEL FILE	DATE	X X
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